



Official Community Plan

Bylaw No. 4373, 2018

Consolidated Version

(For convenience only)



**THE CORPORATION OF THE CITY OF DAWSON CREEK
OFFICIAL COMMUNITY PLAN
BYLAW NO. 4373, 2018**

WHEREAS, the Council of the City of Dawson Creek wishes to adopt a new Official Community Plan pursuant to the *Local Government Act*;

AND WHEREAS, Council has considered this Official Community Plan in conjunction with the City's most recent financial plan and other relevant plans to ensure consistency between them;

AND WHEREAS, Council has met the consultation requirements pursuant to *the Local Government Act*;

NOW THEREFORE, the Council of the City of Dawson Creek enacts as follows:

1. This Bylaw may be cited as "Official Community Plan Bylaw No. 4373, 2018".
2. The following schedules attached are hereby part of this Bylaw and adopted as the Official Community Plan for the City of Dawson Creek:
 - a. Schedule A – Official Community Plan Text
 - b. Schedule B – Land Use
 - c. Schedule C – Transportation
 - d. Schedule D – Parks, Natural Areas, Recreation and Trails
 - e. Schedule E – Water Servicing
 - f. Schedule F – Raw Water Servicing
 - g. Schedule G – Sanitary Sewer Servicing
 - h. Schedule H – Storm Servicing
 - i. Schedule I – Natural Assets
 - j. Schedule J – Development Permit Areas
3. If any section, subsection, sentence, clause, phrase or map in this bylaw is for any reason held to be invalid by the decision of any court, the invalid portion shall be severed and the decision that it is invalid shall not affect the validity of the remainder.
4. Bylaw No. 4042, 2009, cited as the "City of Dawson Creek Official Community Plan Bylaw No. 4042, 2009" and all amendments thereto are hereby repealed.

READ first time this 16th day of April, 2018.

READ second time this 16th day of April, 2018.

ADVERTISED this 9th and 16th day of August, 2018.

PUBLIC HEARING was held this 20th day of August, 2018.

READ third time this 20th day of August, 2018.

ADOPTED this 20th day of August, 2018.

CERTIFIED A TRUE AND CORRECT COPY of Bylaw No. 4373 cited as "OFFICIAL COMMUNITY PLAN BYLAW NO. 4373, 2018."

Original Signed By

Brenda Ginter – Director of Corporate Administration

The Corporate Seal of **THE CORPORATION OF THE CITY OF DAWSON CREEK** was affixed in the presence of:

Original Signed By

Dale Bumstead- Mayor

Original Signed By

Brenda Ginter – Director of Corporate Administration

List of Amendments to City of Dawson Creek Official Community Plan Bylaw No. 4373, 2018

This is a consolidation of the bylaws listed below. Amendments have been incorporated with the parent bylaw for convenience only. This consolidation is not a legal document. Certified copies of the original bylaws should be consulted for all interpretations and applications of the subject bylaw.

Bylaw No.	Date of Adoption	Purpose of Amendment
4403	March 25, 2019	Flood Policy Updates
4418	June 10, 2019	Map Amendment
4459	October 5, 2020	Amends the land use designation for Chamberlain Park Properties
4480	February 22, 2021	Amends the Natural Assets map by replacing the Floodplain layer and replaces the Natural Hazards Development Permit Area layer
4522	April 25, 2022	Amends the property located at 821 - 119 Avenue by re-designating from Highway Commercial to Low Density Residential
4536	July 18, 2022	Amends Section 9.9.2 Development Reserve Two – Woodlands to include Phase 1
4547	February 27, 2023	Amends the property located at 1639 – 99 Avenue by re-designating from Institutional to Light Industrial.
4563	June 26, 2023	Amends lands related to Nawican Land Exchange and Chamberlain Park Encroachments.
4565	August 14, 2023	Amend the property located at 709 – 100B Avenue by re-designating from Light Industrial to Downtown Mixed Use.

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Schedule A – Official Community Plan Text

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1. Introduction and Plan Overview

1.1 All About Official Community Plans

1.1.1 What is an Official Community Plan?

An Official Community Plan is the highest-level policy document for a municipality – it informs and guides how the community grows for the next 15+ years. An Official Community Plan provides a regulatory framework to guide how a local government evaluates and approves future development. It also serves to provide clear direction on how Dawson Creek should grow in the coming years so that growth is well planned and supports the community's vision for the future.

All Official Community Plans are prepared under the authority of the *Local Government Act*, which describes an Official Community Plan as a comprehensive guiding document and requires the following content:

- Approximate location, amount, type and density of residential development to meet anticipated housing needs for at least five years
- Approximate location, amount and type of present and proposed commercial, industrial, institutional, agricultural, recreational and public utility land uses
- Approximate location and area of sand and gravel deposits that are suitable for future sand and gravel extraction
- Restrictions on the use of land subject to hazardous conditions or that are environmentally sensitive to development
- Approximate location and phasing of major road, sewer and water systems
- Approximate location and type of present and proposed public facilities, including schools, parks and waste treatment and disposal sites
- Policies for affordable, rental and special needs housing
- Targets for the reduction of greenhouse gas emissions and policies and actions of the local government to achieve those targets
- Consideration of applicable provincial policy guidelines

In addition, optional policy components that influence the overall quality of life in a community are also identified in the *Local Government Act*, including policies of the local government:

- Relating to social needs, social well-being and social development
- Respecting the maintenance and enhancement of farming on land in a farming area or in an area designated for agricultural use in the plan
- Relating to the preservation, protection, restoration and enhancement of the natural environment, its ecosystems and biological diversity

In addition to the policy components above, an Official Community Plan may also contain a regional context statement, consistent with the rest of the plan. Finally, if a local government proposes to include a matter in an Official Community Plan of matters outside of the local government's jurisdiction, such as items within provincial, federal or other local government jurisdictions, the Official Community Plan may only state the broad objectives of the local government with respect to that matter.

The *Local Government Act* also states that a local government is not obligated to undertake any project included in the Official Community Plan or to retroactively amend existing bylaws. However, all of the City's policies, plans, capital projects or bylaws created after adoption of its Official Community Plan must be consistent with it. For example, when Dawson Creek updates its current Zoning Bylaw, it should be made consistent with the Official Community Plan over time.

After the adoption of an Official Community Plan, all bylaws enacted and works undertaken by the municipality must be consistent with the Official Community Plan, unless the Official Community Plan is amended.

This Official Community Plan builds extensively on the excellent work that was undertaken in the City's 2009 Official Community Plan. This information is augmented with recent Census and BC Stats data and the comprehensive input provided by the community during 2017 engagement activities.

It should be recognized that communities are not static and that change is always occurring. With this in mind, an Official Community Plan should be a living document that is amended from time to time. Such amendments may be initiated by Council or as the result of an approved Official Community Plan amendment application. While Official Community Plans are typically created with a fifteen to twenty-year life span in mind, best practice is to review an Official Community Plan approximately every five to ten years. This is because many of the objectives and policies contained within an Official Community Plan should be regularly evaluated to ensure that they are still relevant and current, and those that have been completed should be replaced with new objectives and policies where appropriate.

While this Official Community Plan reflects the best ideas at the time of its writing and is adopted as a bylaw by the City of Dawson Creek, the adoption of the Official Community Plan does not commit the City to proceed with any project that is specified herein. It does, however, commit the City to ensuring that all actions taken once the Official Community Plan is adopted are consistent with the direction set forth within it.

1.1.2 Why Do We Need an Official Community Plan?

An Official Community Plan is the overarching visionary document that municipalities use to shape their growth, development, programming and services. It is a mandated document that serves as a roadmap for the municipality, providing an overview of current and future plans for the City that Mayor and Council, staff and the community can collectively access and use.

Without policies and directions in place in the Official Community Plan, there is no framework to build off when deciding on land use, the extent and type of growth, and programming. That being said, municipalities must ensure that the policies they do set out in the Official Community Plan stay broad enough that there is flexibility in the implementation of these policies, and that there is room to implement future desired actions without having to rewrite the entire document.

1.2 A New Plan for a New Chapter

1.2.1 What's New in This Official Community Plan?

This Official Community Plan has been developed to build upon the initiatives taken in the previous Official Community Plan and strives to address the challenges that Dawson Creek has faced in the past 10 years and will continue to face into the future. It also serves as a visionary document that takes the dreams and aspirations of the community, City staff and City Council, and tempers them with a dose of realism, ensuring a fiscally responsible and sustainable, livable community.

This Official Community Plan contains the following elements:

- A greater focus on ensuring that Dawson Creek is a resilient community over the long term
- A continuing and increased focus on environmental sustainability and incorporating initiatives that achieve this
- Continuing to support and increase the economic diversity of the community to reduce the impacts of a cyclical natural resource economy
- Focusing on fiscal responsibility within the City to ensure a balanced approach is maintained in spending
- Increasing mobility in the community through improved transportation infrastructure and mobility options
- Creating a healthy and vibrant community by creating opportunities for inclusion, connectedness, and community safety
- Celebrating our arts, culture and heritage, and recognition of our Indigenous peoples
- Working to address the **affordable housing**¹ and homelessness challenges that face every community
- Creating a community that is welcoming to new residents and provides them with the support and services that they need in order to thrive

1.2.2 Plan Organization

This Official Community Plan builds upon the excellent work that went into the previous Official Community Plan that was developed with extensive input from the community. This Official Community Plan is presented as a variety of plans focused on specific community-building elements, and is organized in the following sections:

- **Section 1.0 – Introduction and Plan Overview** – this section describes the context of an Official Community Plan, its legislative requirements and why one is needed. This section also highlights what is new in the Official Community Plan and how this plan is set out.
- **Section 2.0 – Community Engagement: Visioning and Goal Setting** – this section summarizes the comprehensive engagement process that was undertaken to guide the development of this Official Community Plan. It also presents a refreshed vision and goals.

¹ Bolded terms are defined in Section 12.0

- **Section 3.0 – Context and Challenges** – this section presents descriptive and statistical information on the City of Dawson Creek. Statistical information reflects the most current information available at the time, much of which is the 2016 Census.
- **Section 4.0 – Our Plan for Resiliency** – this section describes how Dawson Creek will work towards resilience over the long term with respect to growth, economic development, fiscal sustainability and the creation and nurturing of effective partnerships with other jurisdictions.
- **Section 5.0 – Our Plan for Environmental Sustainability** – this section addresses how the community plans to minimize the environmental impacts that it may face, and how it can ensure that its initiatives and practices are environmentally sustainable, addressing such elements as natural assets and built systems, infrastructure, local food security, waste management and climate change.
- **Section 6.0 – Our Plan for Mobility** – this section addresses transportation, including multi-modal road networks, active transportation and connectivity between neighbourhoods.
- **Section 7.0 – Our Plan for Healthy and Vibrant People** – this section speaks to how Dawson Creek can influence and affect the quality of life in the community through components including social health, wellness, arts, culture and heritage, parks, recreation and community events, accessibility and ageing in place, community safety, affordable housing and homelessness, indigenous people and new residents.
- **Section 8.0 – Our Plan for Complete and Inclusive Neighbourhoods** – this section of the Official Community Plan focuses on the creation of neighbourhoods that are well thought out and designed, addressing such key components as livability, mobility and accessibility in all seasons, placemaking, infill, vacant lands and brownfield development, revitalizing the downtown and the provision of municipal infrastructure, services and location of facilities.
- **Section 9.0 – Our Plan for Land Use and Development** – this section guides how the City of Dawson Creek will encourage growth and development that meets a variety of objectives while ensuring that development occurs in conjunction with good planning principles.
- **Section 10.0 – Development Permit Areas** – this section sets out the new development permit areas for the City of Dawson Creek, focusing on areas of environmental importance or concern, the downtown core, commercial developments, multi-family developments and areas of intensive residential development.
- **Section 11.0 – Implementation** – this refreshed implementation section has been developed to provide guidance and clear direction as to how this Official Community Plan will be implemented over its lifespan.
- **Section 12.0 – Definitions** – this section defines the bolded words and terms used in this Official Community Plan.

PART I: Setting the Foundation

2. Community Engagement: Visioning and Goal-Setting

2.1 Official Community Plan Update Process

The Official Community Plan update process is undertaken to ensure that the community of Dawson Creek's current and future aspirations, goals and policy programs are being accurately reflected in the current Official Community Plan.

This Official Community Plan update began with a review of the 2009 Official Community Plan from an organizational and best practices perspective and was updated to achieve alignment with strategic policy documents and programs the City has undertaken, such as the Master Transportation Plan and the Parks and Recreation Master Plan.

This update process focused on the following elements:

- **Ensuring that the process is an update**

The 2009 Official Community Plan contains many excellent objectives and policies which are still relevant today, and in general, the community of Dawson Creek is pleased with the direction of that Official Community Plan. However, there are also many objectives and policies that are no longer reflective of the direction that the City is moving in and need to be updated.

Additionally, the Official Community Plan update examined if there was a need to refresh the overarching Vision and Goals. The update also explored:

- Updating land use and growth management to provide direction for growth and development in Dawson Creek, while providing tools and guidance to help the community deal with the growth
- Updating mapping for potential new directions in land use
- Incorporating policies related to asset management, economic diversification, and fiscal gap stewardship
- Developing an effective Implementation Framework for the Plan

- **Thorough and effective community engagement**

For the OCP update process to be successful, it was important to engage diverse groups of people in the community by being present at wide-ranging community events, visiting community centers with under-represented populations, hosting specific targeted stakeholder/focus groups, distributing paper surveys throughout the community, hosting an online survey, and providing avenues for engagement of community members through social media platforms such as Facebook.

The Engagement Strategy was modified and added to according to feedback from Mayor and Council, as well as by community members. It was important for the Official Community Plan Update Process to engage as many community members as possible for input.

- **Following a timely process**

To ensure a successful Official Community Plan update process, it was crucial that a well-planned timeline was followed that allowed for flexibility and modifications when necessary. The update process was divided into five phases, which are shown in the image below:



Image 1: Official Community Plan Update Process

The engagement undertaken throughout this process, the guidance and direction of City staff and Council, and the incorporation of best practices, serves as the framework for this updated Official Community Plan.

2.2 Envisioning the Future – Dawson Creek 2030

The Official Community Plan update is based around the creation of “Dawson Creek 2030”. The Official Community Plan serves to address the needs of residents today while simultaneously envisioning what it means to have a healthy, sustainable, thriving community in the year 2030 and what must be implemented to achieve this.

Throughout the various engagement activities, participants were encouraged to be future-oriented with their thoughts, especially when it came to the vision they held for their city. Participants were also asked to give feedback on appropriate goals for Dawson Creek, as well as policy directives for land use, growth, programs and services.

2.2.1 Community Engagement Summary

To achieve a comprehensive and diverse engagement process for the Official Community Plan update, a series of events, activities and meetings were held over two months in July and August in Dawson Creek. These included:

- Community Surveys (online and hard copy)
- IMAGINE: OCP Festival
- Stakeholder Focus Groups
- Multicultural Fusion Festival
- Fall Fair and Exhibition
- Nawican Friendship Centre
- 30 Minute ‘One-on-One with Your City Planner’ appointments
- Facebook Q and As

During these varied engagement activities, the following stakeholders were engaged:

- The general public including youth, adults and seniors

- Bear Mountain Nordic Ski Club
- Dawson Creek Alliance Church
- Dawson Creek Chamber of Commerce
- Dawson Creek Community Garden Society
- Dawson Creek Society for Community Living
- Dawson Creek Triathlon Club
- Dawson Creek Mayor and Council
- Juice Five O Café
- Kiwanis Performing Arts Centre (Calvin Kruk Centre for the Arts) Executive
- Mile Zero Cruisers
- Network Ministries
- Northern Lights College
- Northern Toy Box
- Peace Energy Co-op
- RE/Max DC Realty
- Rosenau Transport
- School District 59
- Seventh Day Adventist Church
- Sight Impaired Group of Dawson Creek
- South Peace Community Resources Society
- South Peace Oilmen's Association
- South Peace Search and Rescue
- South Peace Seniors Access Services Society
- South Peace Seniors Association
- South Peace United Church
- St. Mark's Anglican Church
- Tourism Dawson Creek

Themes

When looking at the responses and input compiled from the community members and stakeholders participating in the various engagement activities, sessions, and meetings, the following common themes arose:

1. Community Feel, Community Connection and Community Safety

When asked what they liked about living in Dawson Creek and about the quality of life in the city, participants were very quick to identify that they loved the sense of community, and they felt people in the community were generous, kind and friendly. Participants felt that there was a good sense of community spirit and pride, which they believed translated to a rich volunteer community. Many participants felt that the community was good for raising a family and that there are many families in the area who have lived in Dawson Creek for several generations, making them 3rd or 4th generation residents.

Considerable comments were also made, however, about the transient nature of the 'shadow population' due to seasonal or project-oriented work. Participants felt that they did not connect with this population and that the shadow population did not appear to give back to the community. Participants were also concerned about the feeling that the crime rate has been increasing with higher instances of theft, property damage and vandalism, and that drug use in the community was also increasing.

2. Community Events, Activities and Programming

Participants were enthusiastic about the many events around town and how well run they were. Many positive things were said about the Dawson Creek Music Festival, the Dawson Creek Fall Fair Exhibition & Stampede, and the many events and concerts held at the Encana Events Centre.

Feedback was also provided about specific aspects of community events, activities, and programming, including:

- A desire for more activities and programs for specific age demographics like youth, especially those in their teenage years, and seniors
- A need for special events year-round, especially in the winter; suggestions included embracing a **winter city** model of event planning with activities and amenities that are available and accessible to all, which will serve to provide opportunities for permanent residents who spend their time in Dawson Creek year-round
- Improving advertising for activities, events and programs, and perhaps providing an avenue where groups and clubs can collectively advertise their events.

3. Diversification of the Economy

Participants repeatedly indicated that they wanted to see greater diversity in the City's economic base and activities. Participants voiced their aversion to the cyclical nature of the natural resource economy in Dawson Creek, and expressed their desire for investment in and the support of small businesses and the creative sector, especially in the **downtown** core.

There was also a consistent sentiment among participants that the City should be preserving and embracing its agricultural roots and heritage since agriculture has been such a strong and important part of the community's identity for decades. Increasing support for local farmers and ranchers was identified as important.

Finally, participants felt that tourism in the area should be enhanced, as visitors come to Dawson Creek from all over the world to experience the Alaska Highway. It was felt that advertising, signage and directions along the highway and in town could be improved, as well as increased amenities for tourists.

4. Housing and Other Infrastructure

Participants felt that housing prices and living expenses in Dawson Creek have increased in the last several years, alongside the increase in the industry in the area. Participants desire more diverse and **affordable housing** options, in particular with regards to rental housing, variable incomes and needs (e.g. rent-controlled housing, supportive housing, social housing, shelter beds, accessible housing for seniors). In terms of housing for seniors, in particular, it was identified that more long-term care facilities and home care options are needed.

In terms of building infrastructure in general, participants identified the need to develop **infill** lands. In addition, there was a desire to avoid developing outwards that would lead to more sprawl on the outskirts of Dawson Creek. Many respondents expressed the desire to have more retail facilities and restaurant options in town to reduce the need to travel outside of Dawson Creek to gain access to necessary goods and services.

5. Green Space and Initiatives

Many participants voiced the need for a curbside recycling program, the development of a composting initiative, and more focus on renewable energy for City buildings and public facilities. In terms of parks and **green space** throughout Dawson Creek, participants would like to see more trees and dedicated park space throughout the community, including community gardens with pollinator pathways, and dog parks.

6. Recreation and Transportation

Participants had many ideas about improving transportation around Dawson Creek, including more bike lanes and multi-purpose paths, bike racks to lock their bikes to, expanding the frequency and duration of the current transit systems and a shuttle system that could connect people from their homes to the main bus lines – particularly for seniors who have mobility challenges in the winter.

Participants also desired more infrastructure to increase the walkability in the community, including such infrastructure as sidewalks on all roads and incorporating more multi-purpose trails throughout the community. There was also a general desire to be better connected to Pouce Coupe; a rail system, bike network, or multi-purpose trails were suggested.

In terms of outdoor recreation, participants felt that a large draw to Dawson Creek in terms of quality of life is its proximity to recreation opportunities in the mountains and surrounding areas. However, participants feel that recreation facilities within the City could be improved or increased, such as outdoor pools and waterparks for summer use.

7. Healthcare and Well-being

While participants generally feel that there is a high level of health and well-being in Dawson Creek, there appears to be a general consensus that the local healthcare services need to be improved. Many participants stated that they have to seek healthcare support and services outside of Dawson Creek, especially for specialist appointments. Furthermore, it was identified that as the population ages and more seniors call Dawson Creek home, there will be a greater need to have health services for seniors available.

The need to attract young professionals to Dawson Creek that are trained as doctors and other medical specialists was expressed in order to better address healthcare locally. Building upon the themes presented here would encourage more young families and professionals to live in Dawson Creek over the long-term.

Prioritization of Programs and Development

At nearly every engagement event and activity, participants had the opportunity to take part in a budgeting exercise that gave the participants the ability to show their prioritization of specific areas of programming and development by way of ‘voting’ with Monopoly money. On average, the order in which sectors were prioritized were as follows (in descending order, with #1 being the highest voted priority):

1. Community Health, Wellness and Safety
2. **Affordable Housing**
3. Transportation and Infrastructure
4. Economic Development and Diversification
5. Land Use/Growth Management
6. Arts, Culture and Heritage
7. Sustainability/Finance
8. Other, including such ideas as better snow management, city beautification and more activities for children and youth

Specific ideas surrounding the engagement activities are reflected with appropriate policy objectives and strategies throughout this plan. Additionally, the themes identified above will also be found woven throughout this Official Community Plan.

2.2.2 Vision

One of the key pieces of the update process was to re-assess the overarching vision statement of the Official Community Plan, as it is the vision that sets the overall direction that this plan takes.

Based on citizen feedback throughout the engagement events, the following vision statement was created:

“Dawson Creek is an accessible, engaged community with a stable and diverse economic base. A balance of agriculture, industry and nature allows residents to live, work and play locally. Residents and visitors alike are able to participate and connect to others and the outdoors”

It was felt that this vision statement better reflects the future direction of the City and shows the importance of balancing heritage, industry and the environment.

2.2.3 Goals

In addition to the new vision statement, the following goals were developed with input from the community.

Dawson Creek will continue to:

1. Use water responsibly and efficiently to promote a clean and sustainable supply
2. Foster social well-being through health, housing and education
3. Create a thoughtfully-planned, accessible and safe community that provides a range of developments and minimizes the potential impacts of climate change
4. Prioritize the financial sustainability of the city over the long term
5. Develop recreation and social opportunities for a range of ages from youth to seniors
6. Develop and enhance green initiatives such as recycling, composting and community gardens

3. Context and Challenges

3.1 Dawson Creek Overview

3.1.1 Regional Context

The City of Dawson Creek is the second-largest municipality within the Peace River Regional District. The City is seen as the service centre for the South Peace region. The City's closest neighbour, the Village of Pouce Coupe, benefits from the provision of services, such as water, from Dawson Creek. In addition, the City works closely with the Village of Pouce Coupe, the Peace River Regional District and provincial ministries on initiatives that impact multiple jurisdictions.

3.1.2 Location

The City of Dawson Creek is known as "Mile 0" of the world-famous Alaska Highway and a vital transportation corridor that runs from Dawson Creek through the Yukon and into Alaska. Dawson Creek is approximately 24.8 km² in size and sits in a low-lying area with higher elevation changes to the north and south of the city. Dawson Creek, a shallow narrow watercourse, bisects the municipality and flows in the Pouce Coupe River to the east, while South Dawson Creek flows to the west.

Immediate lands surrounding the municipal boundary include protected agricultural land that is actively farmed. In addition, the Village of Pouce Coupe is situated adjacent to Dawson Creek's southeastern boundary.

3.1.3 History

The City of Dawson Creek lies within the traditional lands of the Beaver people (Dane-zaa First Nation). As the main descendants of the earliest Indigenous peoples in the Peace region, the Dane-zaa lived in small groups along the Peace River and followed a nomadic pattern throughout the region based on the season, rather than establishing permanent villages. They were later joined by Cree, who had migrated westward during the 1700s due to pressures resulting from European settlement in Eastern and Central Canada. The Beaver, in turn, pushed the Sekani deep into the Rocky Mountain Trench in the mid-1700s. The two groups convened at Tsadu or Beaver Point, later to be called Peace Point, on the lower Peace River in 1796 to agree upon a truce known as Wachegee.

The two major language groups in the Peace River area are the Athapaskan and the Algonquian. Some of the Beaver have preserved their Athapaskan tongue while the Algonquian language is still used by a few Cree people of the area. Efforts are being made to preserve the language and culture and pass it down to the younger generations, but it is a continual struggle.

In addition to the Beaver and Cree, the Iroquois and Saulteau peoples also migrated to the Peace River region to settle during the 17th and 18th century. Iroquois presence in the Peace Region dates back to 1819 when they acted as guides for traders and explorers. The Saulteau were descendants of the Ojibway residing primarily around the areas east of Lake Superior. Saulteau peoples began migrating westward in the 1800s after being pushed out

of their traditional territories by the Federal Government. They were led to the Moberly Lake area by a spiritual leader who had visions of two sacred snow-tipped mountains which are today known as the Twin Sisters.

The signing of Treaty 8 signalled a key moment in Indigenous people and settler relationships in the Peace River region and beyond in the Treaty's 840,000 km² territory, which includes northeastern British Columbia, northern Alberta, northwestern Saskatchewan and the Northwest Territories south of Hay River and Great Slave Lake. The signing of the Treaty between the local Beaver and Cree groups along with Chipewyan groups from the prairies in 1899 and the Government of Canada was followed by Prophet River and Fort Nelson Indigenous groups signing the Treaty in 1910. Under the Treaty, signatories were promised access to maintain traditional activities, such as hunting, fishing and trapping, in their traditional territory.

Dawson Creek is named after the watercourse of the same name, itself named after George Mercer Dawson who led a surveying team through the area in August 1879. The community that formed by the creek was one of many farming communities established by European-Canadian settlers moving westward through the Peace River Country. When the Canadian government began issuing homestead grants to settlers in 1912, the pace of migration increased. With the opening of a few stores and hotels in 1919 and the incorporation of the Dawson Creek Co-operative Union on May 28, 1921, Dawson Creek became a dominant business centre in the area.

After much speculation by landowners and investors, Northern Alberta Railways built its western terminus 3 km from Dawson Creek. The golden spike was driven on December 29, 1930, and the first passenger train arrived on January 15, 1931. The arrival of the railway and the construction of grain elevators attracted more settlers and business to the settlement. The need to provide services for the rapidly growing community led Dawson Creek to incorporate as a village in May 1936. The community exceeded 500 people in 1941.

In 1941, the Japanese attacked Pearl Harbor. This significant event forced the American and Canadian governments to re-evaluate their security and determine that there was an obvious need to shore up and protect the sovereignty of North America. In response, a secure land transportation link was needed to transfer goods, materials, and men from the continental United States to Alaska. As one part of the wartime measures, 1,500 miles of road needed to be punched through the vast untamed wilderness of northern Canada and Alaska. Building in these northern areas would not be an easy feat. Men and women would battle the mountains, muskegs, and mosquitoes for eight months to finish this vital artery.

On March 9, 1942, Dawson Creek, a small northern Canadian community with a population of 600 people, bustled and swelled with activity when the first train carrying American troops arrived. In a matter of weeks, the town's population exploded to 10,000. Seven regiments of American engineers (approximately 11,000 men including three regiments of men with African American heritage) 16,000 civilians from Canada and the United States and 7,000 pieces of equipment were thrown into action against some of the toughest and most unforgiving wilderness areas in the world.

On November 20, 1942, after a little over nine months of intense construction, 250 soldiers, civilians, policemen, and government delegations from Canada and the United States, met at mile 1,061, known as 'Soldiers Summit', where they cut the ribbon officially opening the 'Alcan' Highway. The total cost for construction of the 1,523-mile route, which also includes 133 major bridges and more than 8,000 culverts, was about \$140 million USD.

This remarkable achievement has developed into a major transportation link in North America, stretching from Mile '0' at Dawson Creek through the Yukon Territory, and into Alaska. In 1946, reconstruction and upgrading were carried out under Canadian Army supervision. On April 1, 1971, the Canadian Federal Government turned over maintenance of the Yukon section of the Alaska Highway to the Yukon Department of Highways and Public Works. Since completion of the Alaska Highway in the 1940s, a continuous program of upgrading, widening, and straightening has been underway. Virtually 100% of the Alaska Highway is now paved. The Alaska Highway, once an emergency wartime road, has developed into a vital link between the giant industrial regions of the United States and Canada and the natural resources of Alaska and Yukon. In addition to the economic aspects of the highway, it also represents a permanent monument to the resilient and enduring friendship between two nations. On September 28th, 1996, a ceremony was held in Dawson Creek. At this time the Alaska Highway was designated as the 16th International Historic Civil Engineering Landmark. In 2017, the Alaska Highway celebrated its 75th Anniversary with a variety of events travelling the route to commemorate its significance and history.

3.1.4 Climate

Dawson Creek is located in the Boreal Plains Ecozone and is part of the flat Interior Plains of Canada, a northern extension of the Great Plains of North America. The subdued relief consists of low-lying valleys and plains stretching across the mid portions of Manitoba and Saskatchewan and continuing through almost two-thirds of Alberta, including the South Peace. The majority of Dawson Creek's surface waters are part of three watersheds: the Saskatchewan River, the Beaver River, and the Peace, Athabasca, and Slave Rivers' watershed.

Dawson Creek is characterized by a unique climate, marked by warmer summers than the surrounding areas. The mean annual temperature in Dawson Creek in the summer is 15°C and the mean winter temperature is -14°C. The average daily high temperatures range from -7°C in January to 22°C in July. The mean annual precipitation ranges from 350–600 mm. The climate, when combined with the extended sunshine hours, allows a variety of crops, such as wheat and canola, to grow in the area. This results in agriculture continuing to be of major importance in the City's economy.



Image 2: 103rd Avenue and 12th Street

3.2 Community Profile

3.2.1 Demographics

Dawson Creek has traditionally been a low- to moderate-stable growth community. Over the past decade, the City has seen its traditional steady growth patterns interlaced with periods of high growth and population loss. Much of this population fluctuation is based on oil and gas activities in northeastern BC, which have become a significant driver of growth in Dawson Creek and the region in the past 25 years.

3.2.1.1 Existing Population

Based on the 2017 BC Stats Census, the 2017 population total for Dawson Creek was recorded at 11,840 people. This is an increase of 9.9% since 2001, which represents an annual average growth rate of 0.6%. This overall moderate growth rate has been sustained by periods of minimal or negative growth coupled with years of dynamic growth. In 2011, Dawson Creek was among the fastest growing communities in BC with a growth rate of 3.7% for the year. These growth patterns largely revolve around the success of the oil and gas industry, as well as other resource and industrial based activities in the area. This pattern of moderate growth interlaced with clusters of high growth periods in Dawson Creek's population will likely continue into the future.

The population break down in gender and age group categories is also based on the 2016 Canadian Census data. The gender ratio for Dawson Creek in 2016 was almost a 50:50 ratio with 49% (5,685) males, and 51% (5,895) females combining for a total population of 11,575 people. This ratio is identical to the 2016 BC total, where males made up 49% of the population (2,278,245), and females made up 51% (2,369,815), totaling 4,648,055 people.

The median age of the population in Dawson Creek in 2016 was 37.2 years of age, which is considerably younger than the median age of the population in all of British Columbia for the same year (42.3 years of age). The relative youthfulness of Dawson Creek's population is largely the result of young workers coming to the region seeking employment opportunities associated with the natural resource economy in the region.

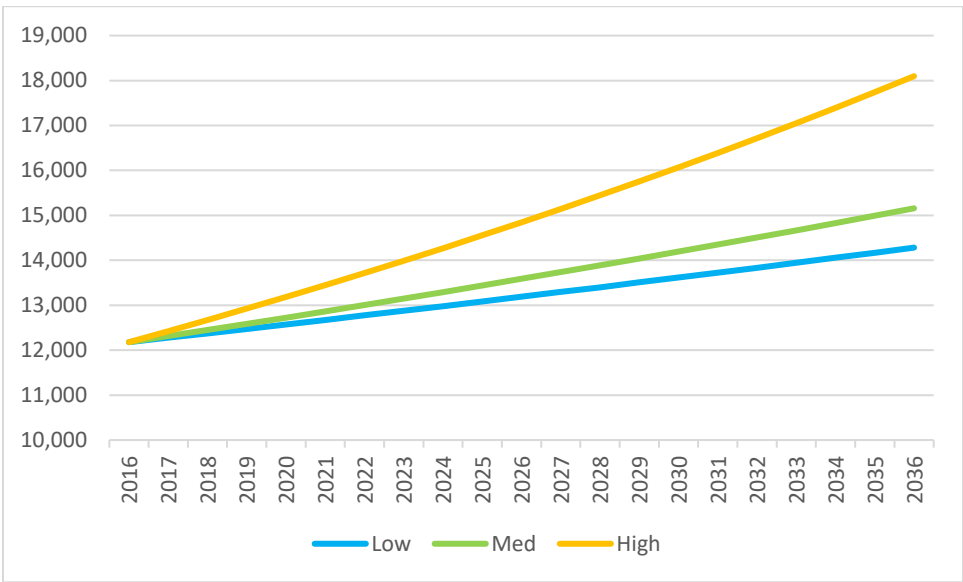
3.2.1.2 Population Projections

Dawson Creek's historic population growth has seen periods of high growth coupled with years of moderate and negative growth that balance each other to create long-term moderate growth. Looking over 10 and 15-year timelines, Dawson Creek's boom and bust cycle equates to moderate growth in the 0.8% and 1.1% range. It is also acknowledged that major industrial projects can bring in additional growth that is not forecasted. For this reason, a range of 20-year population projections have been provided to account for low, medium and high growth scenarios.

- **Scenario 1 (Low):** 0.8% annual growth, based on Dawson Creek's 15-year (2002-2016) growth rate, resulting in a projected population of approximately 14,300 in 2036
- **Scenario 2 (Medium):** 1.1% annual growth, based on Dawson Creek's 10-year (2007-2016) growth rate, resulting in a projected population of 15,150 in 2036
- **Scenario 3 (High):** 2.0% annual growth, based on the Dawson Creek Sanitary Sewer Master Plan projections, resulting in a projected population of just over 18,000 in 2036

These population growth scenarios are reflected in the following graph:

Figure 1: City of Dawson Creek Growth Projections to 2036



It is also important to note that there is also a considerable shadow population that exists in Dawson Creek due to this industry, so it is acknowledged that both existing population data, as well as population projections, could be slightly inaccurate due to higher levels of seasonal fluctuations of temporary residents.

3.2.2 Labour Force and Income

With an expanding economy and major economic pillars that include agriculture, forestry, mining, tourism and oil and gas, there is a wealth of work, investment and business opportunity in Dawson Creek. The main occupations that comprise the labour force in Dawson Creek are:

- Sales and service occupations
- Trades, transport and equipment operators and related occupations
- Business, finance and administration occupations
- Occupations in education, law, social, community and government services



Image 3: Wind power near Dawson Creek

A table summarizing employment by occupation, and divided into genders is found below:

Table 1: Dawson Creek Employment by Occupation (2016 Census)

	Total	Male	Female
Total labour force population aged 15 years and over by occupation	6,720	3,525	3,195
All occupations	6,585	3,455	3,125
Occupations As a % of the TOTAL			
Management occupations	9.0%	9.6%	8.3%
Business, finance and administration occupations	13.5%	6.1%	21.9%
Natural and applied sciences and related occupations	3.4%	5.5%	1.1%
Health occupations	7.4%	2.7%	12.8%
Occupations in education, law, social, community and government services	9.3%	4.2%	14.7%
Occupations in art, culture, recreation and sport	1.1%	0.9%	1.4%
Sales and service occupations	25.4%	18.1%	33.4%
Trades, transport and equipment operators and related occupations	21.7%	37.9%	3.8%
Natural resources, agriculture and related production occupations	4.3%	6.9%	1.3%
Occupations in manufacturing and utilities	4.9%	8.2%	1.1%

In terms of occupations, sales and service, trades and transport, and business, finance and administration comprise the greatest area of employment in Dawson Creek.

Dawson Creek residents recorded a median income of \$40,303 and a median household income of \$79,211 in the 2016 Census. Both figures are higher than the BC average. This indicates that on both an individual and household level, Dawson Creek residents earn higher incomes than compared to the rest of the province.

Table 2: Dawson Creek Income Statistics (2016 Census)

	Dawson Creek	British Columbia
Median Income	\$40,303	\$33,012
Median Household Income	\$79,211	\$69,995



Image 4: Mile Zero, Alaska Highway

3.2.3 Housing Inventory and Projected Needs

3.2.3.1 Inventory

The housing landscape in Dawson Creek shows that there has been a steady increase in population growth based on recorded private dwellings and occupation rates of these dwellings (11.4% increase in private dwellings). It is also identified that to accommodate this population growth, alongside the development of new housing, the aged housing stock will need to be upgraded and/or replaced because a significant proportion of existing private dwellings were constructed prior to 1980 (70% of the housing stock).

Table 3: Dawson Creek Dwelling Counts by Construction Period (2016 Census)

	Number	% of Total
TOTAL	5,035	100%
1960 or before	1,180	23.4%
1961 to 1980	1,950	38.7%
1981 to 1990	500	9.9%
1991 to 2000	365	7.2%
2001 to 2005	175	3.5%
2006 to 2010	355	7.1%
2011 to 2016	515	10.2%

In addition, 83% of the existing housing stock by occupied private dwelling is single-detached housing (65%) and apartments under 5 storeys (18%). The relative small proportions of other dwelling types may be preventing different demographics from accessing housing types that they desire. Developing policy focused on diversifying the existing housing stock should be considered in the OCP update.

Table 4: Dawson Creek Occupied Dwellings by Structural Type (2016 Census)

Structural Type	Number	% of Total
TOTAL	5,035	100%
Single-Detached House	3,220	64%
Apartment (5 or more Storeys)	0	0%
Movable Dwelling	240	5%
Semi-Detached House	255	5%
Row House	290	6%
Duplex	110	2%
Apartment fewer than 5 Storeys	910	18%
Other single-attached house	5	0%

3.2.3.2 Projected Land and Housing Needs

Dawson Creek's future housing demand was created using the population projections provided in this report. The 2016 Census average household size in Dawson Creek of 2.3. Given the three population projects presented above, Dawson Creek will need between 915 and 2,573 dwelling units over a 20-year time horizon. However, because it is felt that Dawson Creek will exceed the 915 dwelling units in this time frame as a result of economic activity in the area, additional scenarios to determine the 20-year residential land needs were only focused on the medium and high growth projections.

The 20-year residential land needs were developed by determining the number of dwellings required to accommodate the future anticipated growth of the medium and high population projections. The number of dwelling units needed to accommodate population growth was put through the three residential projection scenarios that consider different proportions and densities of housing types to create a range of 20-year residential land needs.

To accommodate the 20-year medium population growth projection and provide 1,295 dwelling units, Dawson Creek would need between 40.6 ha and 51.4 ha of total residential land, including:

- Between 23.7 and 45.3 ha of single-detached residential land
- Between 4.1 and 12.3 ha of semi-detached and row house residential land
- Between 2.0 and 4.7 ha of multiple-family residential land

To accommodate the 20-year high population growth projection and provide 2,573 dwelling units, Dawson Creek would need between 80.7 ha and 102.1 ha of total residential land, including:

- Between 47.0 and 90.1 ha of single-detached residential land
- Between 8.1 and 24.3 ha of semi-detached and row house residential land
- Between 3.9 and 9.4 ha of multiple-family residential land

As a result of the amount of vacant land that Dawson Creek currently has (138.5 ha), Dawson Creek would maintain a surplus between 87.1 and 97.9 ha of residential zoned land to accommodate the residential needs associated with the 20-year medium growth population projection. This surplus is reduced to be between 36.4 and 57.8 ha of residential zoned land to accommodate the residential needs associated with the 20-year high growth population projection, depending on the level of **infill** that occurs.

However, as the level of **infill** development decreases, the likelihood that the City will need to acquire more land to accommodate growth increases. For example, if the level of **infill** decreases to 50% Dawson Creek would need an additional 11.4 to 32.8 ha of residential zoned land.

In general, it is anticipated that Dawson Creek will encourage a higher level of **infill** development and thus will have sufficient land to accommodate the residential needs of future population growth.

PART II: Plans for a Vibrant Dawson Creek

4. Our Plan for Resiliency

The ability to be adaptable in the face of change and thrive in an ever-evolving environment is key for the success of Dawson Creek to be a resilient, desirable place for people to live, work and play. Effectively managing growth and changing community dynamics while striving for a more diversified economy and continuing to focus on financial sustainability and effective partnerships to leverage assets cooperatively are all policy areas that Dawson Creek would like to focus on.

4.1 Efficient Growth Management

A resilient community is one that can effectively manage its new growth and development in a manner that capitalizes on existing infrastructure through **infill** and intensification of vacant and under-utilized lands. Directing new development to vacant or underutilized parcels within existing serviced areas meets local development demands and helps support the financial sustainability of the City by providing cost-effective servicing.

Objectives:

1. Accommodate growth and development in a compact, cost-efficient and land efficient manner that minimizes the need for extending municipal infrastructure and services.
2. Encourage and allow for the development of **mixed-use** projects in new and existing neighbourhoods.
3. Ensure that the City's growth and development occurs in a sustainable manner over the long term, rather than responding to the cycles of the natural resource economy.
4. Focus on development which occurs in a manner that incorporates sound planning principles, fiscal sustainability and creates livable communities.
5. Promote **infill** development on underutilized parcels in existing built areas as a community priority to achieve efficient land use, improve fiscal sustainability and promote walkable and complete neighbourhoods.
6. Support strategic **infill** and redevelopment in existing residential areas in a manner that results in minimal impacts to adjacent parcels.

Policies:

1. Generally encourage new development to be directed to lands in a manner that is prioritized in the following order:
 - a. **Downtown Infill** – infill development within lands in the **downtown** area designated as **Downtown Mixed Use** or **Downtown Residential**
 - b. **Neighbourhood Infill** – infill development within existing built up and serviced lands outside of the **downtown** area
 - c. **Neighbourhood Sequential** – **greenfield** development on lands that border existing built up and serviced lands on at least two sides of the **greenfield** development area
 - d. **Serviced Fringe Area** – **greenfield** development on lands that border existing built up and serviced lands on one side of the **greenfield** development area
 - e. **Unserviced Fringe Area** – **greenfield** development that is not located adjacent to existing built up and serviced lands, thus requiring a substantial extension of servicing
2. Support a full range of **mixed uses**, including residential, commercial and institutional uses in the **Downtown Mixed-Use** area identified on Schedule B.
3. Promote sensitive **infill** of existing residential parcels that provides minimal or no impacts on surrounding parcels, such as reduced parcel sizes for subdivision on existing underutilized residential parcels.
4. Consider allowing **infill** of existing residential areas with development that is of higher density than adjacent parcels, provided that it is done in a sequential manner where new higher density development is buffered on both interior parcel lines by lower density development.
5. Require applicants who wish to develop in fringe areas of the city to provide evidence that their proposed development meets an existing community need that cannot be met through **infill**, compact or sequential development.
6. Consider opportunities for providing **up-zoning** for commercial, residential, mixed-use and institutional uses on corner parcels that front onto a Provincial Highway or City Arterial road.
7. Consider developing an annual report that presents the status of the City's vacant land supply and current development trends to assess if an increase in land supply through boundary extension is warranted.
8. Approximately every 5 years, review and update the previous investigation into population and employment statistics with respect to Dawson Creek's shadow population in order to determine how it affects the availability of housing, local employment, programs and services.

9. Work with the business, development and real estate communities to identify development needs and absorption rates of new residential, commercial and industrial units to prevent overbuilding and surpluses of vacant units. Consider these factors in addition to the current local and regional economic climates when evaluating development applications.
10. Consider opportunities to purchase strategic parcels of land during economic downturns.
11. Consider opportunities to dispose of City-owned lands to accommodate strategic community-focused developments.
12. Investigate the potential to develop capital plans and funding mechanisms, such as a rainy day capital fund, for non-imminent infrastructure and social infrastructure improvements that are activated during economic downturns to achieve the following:
 - a. Create additional public investment and economic activity during economic downturns
 - b. Secure lower costs for construction through more competitive tendering for desired City projects
 - c. Stabilize employment and the local economy
13. Encourage redevelopments to include a residential component in the form of creative or innovative **infill** housing, such as live-work studios, student housing, or short-term rental housing.
14. Areas subject to natural hazards or containing environmentally sensitive habitat will not be used to accommodate industrial, commercial, residential, or institutional growth and will not be used in density or minimum lot size calculations.

4.2 Supporting Prosperity / Economic Development

The economic health of a community is a focal point to remaining buoyant through economic cycles. A growing and diverse local economy can weather periods of economic stagnation, especially during times of low global commodity prices. Growth and expansion of existing businesses, creating an investment-friendly environment and improving the quality of life all contribute to an economically resilient community.

Objectives:

1. Increase the economic diversity of Dawson Creek in order to reduce the reliance on the natural resource economy.
2. Encourage and support the retention and growth of existing businesses in Dawson Creek.
3. Encourage entrepreneurship opportunities within Dawson Creek.
4. Consider incentives that encourage investment in **downtown** Dawson Creek.

5. Provide required services and amenities to attract and retain businesses.
6. Work with other jurisdictions and agencies to strengthen the regional economy.
7. Focus on initiatives that improve the quality of life as a method to generate economic development activities.
8. Encourage and support small businesses and the creative sector in Dawson Creek.
9. Continue to recognize the importance of the natural resource and agricultural industries on the Dawson Creek economy.
10. Embrace and enhance tourism as an integral economic driver in Dawson Creek.

Policies:

1. Enhance the City's economic diversity through the implementation of strategies contained in the Dawson Creek Community Economic Development Vision and Strategy, including:
 - a. Establish a clear economic development contact at City Hall
 - b. Strengthen regional partnerships in economic development
 - c. Consider the implementation of a Business Retention and Expansion Program
 - d. Develop a comprehensive **downtown** revitalization program
 - e. Ensure adequate supply of market-ready **employment lands**
 - f. Review City's development review and approval process
 - g. Support the expansion of education and workforce development programs
 - h. Engage the youth and young professionals in the community
 - i. Continue to pursue local health care improvements
2. Support the hiring of an Economic Development Officer to increase the economic diversity of Dawson Creek and implement City economic development initiatives.
3. Promote commercial development for tourism-related uses to locate in the **downtown**, within a 10-minute walking distance to **downtown** or just north of **downtown** adjacent to Northern Alberta Railway Park.
4. Support the development of a commercial hierarchy that will develop diverse commercial nodes including **downtown mixed-use** commercial and residential areas (e.g. **downtown** and surrounding areas), highway commercial, and neighbourhood commercial nodes for emerging residential areas.
5. Consider developing an investment-ready profile directed towards attracting indigenous investment, business development and land acquisition in Dawson Creek.
6. Work with the Dawson Creek Chamber of Commerce in meeting the needs of the business community, particularly as it relates to employee retention and business opportunities within the City.

7. Work with industry to identify key land and infrastructure requirements they require for their continued viability.
8. Evaluate and consider updating the City's Tourism Plan.
9. Increase advertising and signage of being "Mile Zero" on the Alaska Highway and consider having more directional signage along the highway and in the city.
10. Increase and enhance amenities for tourists visiting Dawson Creek.
11. Work with local businesses and service providers to put together 'package deals' for tourists looking to make an excursion up the Alaska Highway.
12. Continue to host and support various sports tourism events, as well as arts, culture and music events that occur at City venues.

4.3 Fiscal Sustainability

Strong management of civic finances and sufficient development cost recovery ensures that a community has the resources required to maintain acceptable service standards, while continually investing in new physical and social infrastructure. This enables communities to maintain and further grow high quality of life for its residents.

Objective:

1. Maintain strong financial sustainability for the City through cost-effective servicing of new development, building new infrastructure and maintaining intergovernmental agreements.

Policies:

1. Ensure that the Peace River Agreement is maintained as a vital source of capital funding for the City.
2. Conduct regular reviews of the City's Development Cost Charge Bylaw, including reviewing and amending the capital plans associated with the charges.
3. Consider expanding the City's Development Cost Charge Bylaw to include charges for transportation, park acquisition and development and stormwater drainage.
4. Develop a communications strategy to identify the purpose of Development Cost Charges and identify the amounts of Development Cost Charge funds that have been allocated to different capital projects.
5. Develop an Asset Management Plan to ensure good management of and strategic investment in the City's infrastructure and assets, such as roads, water and sanitary sewer systems, buildings and equipment.

6. Investigate opportunities to use crowdfunding platforms as a mechanism for contributing financially to the development of community projects.
7. Consider building technologies that decrease energy and utility costs, such as passive house techniques, to create lifecycle operational savings on new public buildings and facilities.

4.4 Planning Partnerships

The growing importance of fringe area development in the long-term sustainability and resiliency of a community makes the formation of strong partnerships with neighbouring local governments vital. As Dawson Creek continues to grow in the future and potentially expand its boundaries, it is important to ensure existing development in those lands aligns with the future growth and direction of the community. This will be critical to ensuring harmonious and complementary patterns of land use and servicing that are not overbearing on City finances.

In addition, the conclusion of various Treaty and land claims has led to a growing priority among First Nations to acquire and develop fee-simple urban lands and establish **urban economic zones** for economic development purposes. There are many aligned and mutually beneficial economic objectives between Dawson Creek and local First Nations in relation to land development. Being proactive in establishing relationships and partnerships with First Nations will allow both Dawson Creek and local First Nations to be at the forefront to capture this investment.

4.4.1 Local Government Partnerships

Objectives:

1. Engage in coordinated planning efforts with neighbouring jurisdictions to ensure harmony between land uses, development, and infrastructure where appropriate.
2. Promote planning best practices for development on the fringe area around Dawson Creek.

Policies:

1. Where large scale inter-jurisdictional planning processes and projects occur, encourage the formation of a committee or working group to advise both City Council and the Peace River Regional District throughout the process.
2. Continue to develop stronger relationships and collaborate with the provincial government on initiatives that are of importance to the City of Dawson Creek and directed by the province.
3. Work with the Peace River Regional District, Village of Pouce Coupe and Agricultural Land Commission to review the South Peace Comprehensive Development Plan and determine if an update is required.
4. Continue to build a collaborative working relationship with the Peace River Regional District.

5. Develop stronger cross-jurisdictional relationships with the Peace River Regional District, Village of Pouce Coupe and Province of Alberta, in particular with Saddle Hills County and the County of Grande Prairie No. 1 and their municipalities.
6. Continue to work collaboratively with the Peace River Regional District to enhance the referral processes for both jurisdictions and ensure that referrals are done in an expedient and timely manner.
7. Work collaboratively with the Peace River Regional District in evaluating potential boundary extension areas, provided they are in alignment with the direction of any comprehensive development plan that is in effect.
8. Continue to maintain current agreements for water supply to Pouce Coupe and partner on future reservoir expansion where policies for management and water supply protection are consistent and aligned.
9. Encourage beneficial partnerships with nearby communities, where appropriate.

4.4.2 Indigenous Government Partnerships

Objectives:

1. Develop strong and mutually beneficial relationships with Treaty 8 First Nation governments.
2. Recognize the economic and social benefits of indigenous land acquisition and development and **urban economic zone** development for Dawson Creek.

Policies:

1. Recognize the economic benefits of urban land acquisition, development and **urban economic zone** establishment for Dawson Creek.
2. Ensure **urban economic zone** development in and adjacent to Dawson Creek is compatible and harmonious with surrounding land uses.
3. Work proactively with Indigenous governments to allow for efficient and effective land use planning of indigenous acquired fee-simple lands and future **urban economic zone** establishment.
4. Be proactive in initiating conversations with Treaty 8 First Nation governments regarding the Treaty Land Entitlement settlements, urban land acquisition and opportunities for development in Dawson Creek.
5. Work with Treaty 8 First Nation governments to develop a framework for establishing Memorandums of Understanding or Servicing Agreements related to servicing **urban economic zones**.
6. Investigate opportunities to align City land use, development, growth and economic development objectives with those of local First Nations.

7. Work with local Indigenous governments to develop a public education strategy and related materials on the Treaty Land Entitlement settlements and **urban economic zone** development.
8. Consult with Indigenous groups when considering boundary expansions to ensure culturally significant areas within fringe areas around the City boundary are protected from development and related activities.

4.4.3 Community Partnerships

Objectives:

1. Focus on highlighting partnerships with community groups and entrepreneurs.
2. Empower and enable community groups and citizens to take on community development and program initiatives.

Policies:

1. Facilitate the development of private-public partnerships to leverage diverse ways of funding projects, programs and developments.
2. Consider creating more citizen working groups on projects to give citizens more voice and ownership of projects and programs.
3. Host entrepreneur events where local business owners and entrepreneurs can come together and share ideas about partnerships and joint ventures.

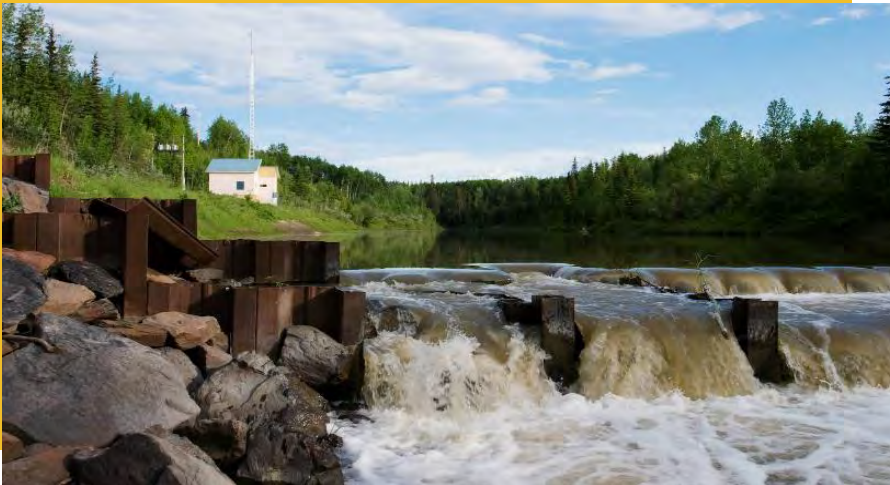


Image 5: Bearhole Lake weir

4.5 Hazard and Risk Reduction

Policies:

1. Use a risk management framework to identify climate risks, set priorities, and decide on strategies to manage risks.
2. Account for future climate projections when developing and implementing natural hazard development permit areas to address landslide and flood.
3. Develop and implement measures to reduce risks of landslide and flooding to existing buildings and infrastructure.
4. Continue to update hazard area mapping to ensure that mapping for hazard area development permit areas remains current and the highest levels of public safety and health are maintained.
5. Develop tools to aid in risk management to help reduce the overall risk of natural hazards to people and property.
6. Communicate risks of natural hazards to residents, particularly those who are exposed and vulnerable.
7. Acquire properties with a high risk of flooding.
8. Accommodate uses that can easily recover from flooding, such as agriculture, park, open space, and recreation within the floodplain.
9. Work with Emergency Management B.C. and local service organizations to create a coordinated response to emergencies created by extreme weather events and to increase the resiliency of our community.
10. Integrate climate projections into future emergency preparedness and response to extreme weather events.
11. Develop and regularly update a natural hazard emergency response plan for internal operations.

5. Our Plan for Environmental Sustainability

Environmental sustainability continues to be a priority for the City of Dawson Creek – we pride ourselves in the quality and character of the natural environment that surrounds and is integrated into our city. In addition, we are working to ensure that the built environment is developed in a sustainable manner. We strive to enhance our existing environmental initiatives and programs while establishing new ways to manage waste, mitigate the negative impacts of climate change to our infrastructure, and thrive as an environmentally sustainable and responsible city.

5.1 Integrating Natural Assets and Built Systems

The integration of natural assets and built systems focuses on protecting, maintaining and enhancing natural ecosystems, habitat corridors and environmental quality within the built form of the City of Dawson Creek. This includes maintaining and protecting as many natural features as possible when land is being developed, enhancing the City's tree canopy and vegetation, considering best practices related to natural assets and built systems, and creating a culture of environmental stewardship among the community.

Objectives:

1. Preserve sensitive environments within and adjacent to Dawson Creek through the integration of natural assets into the planning and design of new development.
2. Enhance the natural assets of existing neighbourhoods and built areas.
3. Protect environmentally sensitive areas through a range of policies and incentives that work with property owners.
4. Maintain and enhance the City's urban forests (including Leoppy Park and Chamberlain Park) to preserve their vital community functions such as air quality maintenance, temperature moderation, rainwater management and greenhouse gas reduction.

Policies:

1. Ensure that all development reflects the following City-wide sustainability goals:
 - a. Create a compact and complete community
 - b. Develop an environmentally-friendly, community-oriented transportation system
 - c. Increase energy efficiency and the use of renewable energy
 - d. Use water responsibly and efficiently to promote a clean and sustainable supply
 - e. Enhance **green space** to support both community and ecological users
 - f. Encourage vibrant arts and culture
 - g. Foster social well-being through health, housing and education
 - h. Encourage participation in civic issues through an open and accountable municipal government

- i. Foster robust economic development that supports the community's goals
 - j. Increase reuse of resources and decrease waste
- 2. Encourage development to occur on lands outside identified flood plains or prone to flooding.
- 3. Continue to acquire lands that fall within floodplains where possible in order to further discourage private development in these areas.
- 4. Encourage buffer areas adjacent to the Dawson Creek watercourse both on public and on private land through a conservation covenant.
- 5. Partner to support or conduct an assessment and inventory of aquatic and terrestrial ecosystems related to Dawson Creek for the purposes of updating protection strategies, restoration programs and facilitating appropriate land use and servicing decisions.
- 6. Protect and preserve environmentally sensitive areas using one or more of the following measures, depending on which are appropriate to a given situation:
 - a. Dedication as a City park or trail where the area complements the goals and objectives of the City's Parks and Recreation Master Plan
 - b. Dedication to a land trust or similar non-government organization for conservation purposes
 - c. Covenant for conservation purposes with the City, Province and/or a nongovernmental organization(s) eligible to hold Conservation Covenants
 - d. Some form of development incentive (density bonus, density transfer, cluster housing, etc.) that will help to protect designated environmental protection areas
- 7. Continue to promote environmental stewardship and sustainable programs within the City.
- 8. Collaborate with the Peace River Regional District to address issues related to air quality, transportation, water quality and habitat protection.
- 9. Maintain an inventory of tree species in City parks and use this to guide future enhancement, programming or interpretive possibilities.
- 10. Consider the development of a 20% target for tree canopy coverage in new developments through preservation measures and planting strategies specific to the site.
- 11. Consider the development of a tree planting incentive program for residential neighbourhoods.
- 12. Consider developing a tree planting program for non-residential areas that includes tree hazard reporting and replacement, growth diversity, and phased planting within parks, targeting areas susceptible to public traffic.
- 13. Continue to recognize the value of natural assets and include them as part of an asset management program.

14. Where feasible, expand the use of natural assets to address infrastructure needs, such as stormwater management, rather than traditional built infrastructure.

5.2 Adapting Infrastructure and Buildings

A long-term and sustainable approach to planning and managing civic infrastructure will be instrumental in furthering the City's objectives in relation to environmental sustainability. Incorporating sustainable and environmentally focused designs into new City infrastructure and buildings, while identifying opportunities for retrofits to existing built features will position Dawson Creek as a regional leader in environmental stewardship.

Objective:

1. Minimize the contributions to climate change and environmental impacts of City infrastructure and buildings.
2. Reduce greenhouse gas emissions generated by City buildings to meet greenhouse gas emission reduction targets.
3. Reduce the energy consumed by buildings to meet energy efficiency and reduction targets.
4. Improve the energy efficiency and environmental performance of existing buildings through retrofits or redevelopment.
5. Improve energy efficiency and green building development for new buildings.

Policies:

1. Work with partners to educate the public and development industry on measures, incentives and programs that encourage reduced water and energy consumption, including energy efficiency upgrades, renewable energy technologies, and water and energy-efficient appliances.

2. Promote the development and implementation of alternative financing strategies and mechanisms to address financial barriers associated with additional costs for green buildings, energy efficiency, and/or use of renewable energy. Options include, but are not limited to:
 - a. Municipal financing of incremental costs of green building and/or energy efficient measures on a cost recovery basis
 - b. Fostering the development of energy efficient mortgages with local mortgage lenders
 - c. Establishing a revolving loan fund to provide grants and loans for undertaking special projects to advance significant emission reduction results and/or green buildings
 - d. Fostering the development of strata energy mortgages to finance high performance, energy efficient equipment and materials
3. Lead by example and have all municipal buildings adopt renewable energy tactics for the use and operation of their buildings.
4. Consider working towards implementing the BC Energy Step Code to achieve greater energy-efficient buildings.
5. Monitor all municipal operations, planning processes, initiatives and decisions so they are moving the City of Dawson Creek's greenhouse gas emission levels toward the following targets:
 - a. 33% below 2006 levels by 2020
 - b. 85% below 2006 levels by 2050
6. Ensure that the City of Dawson Creek's energy consumption levels moves the City towards the reduction targets outlined in its Corporate & Community Energy and Emissions Plan.
7. Develop educational materials and provide workshops to homeowners and industry groups including developers and realtors to increase uptake of existing programs, incentives, and green building opportunities.
8. Explore opportunities to develop a retrofit demonstration project, such as installing a biomass system in a community facility or to develop a green building demonstration project, such as a community or civic facility that utilizes passive house technologies.
9. Consider opportunities to develop greywater reuse systems for public and park facilities.
10. Consider opportunities to develop commercial rainwater harvesting systems to reduce water usage for irrigating landscaping and sports fields.
11. Encourage property owners of all uses to retrofit their buildings and properties to include small wind turbines, solar panels, rainwater collection systems, water-efficient toilets, rain gardens and other retrofits.
12. Consider developing a property tax abatement/refund policy to facilitate building and property renewable energy and energy conservation retrofits.

13. Continue to investigate opportunities to integrate bioswales into street and streetscape development and renewal.
14. Bids, tenders, and contracts for planning or infrastructure projects will make reference to climate adaptation and resiliency.



Image 6: Dawson Creek City Hall

5.3 Local Food Systems

Promoting local food production enhances the food security of a community, diversifies the local economy and reduces the environmental impacts associated with the transport of food. Dawson Creek will utilize its history and experience as an agricultural community to transition into an urban food production centre. This will include new and expanded opportunities for residents, social organizations and small commercial food producers to participate in a local food sector.

Objectives:

1. Enhance local food production capabilities in the City as a means of improving individual and community food security.
2. Further diversify the local economy through the growth and expansion of a local food sector.

Policies:

1. Count food production elements, including but not limited to allotment gardens, community gardens, green walls (i.e. vertical landscaping), and green roofs, toward or in lieu of landscaping or screening requirements.
2. Enable community gardens and **apiculture** uses in all land uses.
3. Promote the expansion of the Dawson Creek farmers market.
4. Develop guidelines for a City policy to enable small scale urban agriculture within City boundaries, considering such elements as small scale gardens, apiaries, backyard hens and food stands.
5. Provide water hook-up and secure supply storage area for community gardening groups on public land.
6. Encourage planting of edible plant species in lieu of landscaping in private developments, parks, utility corridors, and local rights-of-ways where appropriate, or require a portion of all landscaping to include edible plant species.
7. Consider allowing beehives on the roofs of commercial and institutional buildings, provided they meet a predetermined set of safety requirements.



Image 7: Canola field near Dawson Creek

8. Continue to promote Dawson Creek as a bat-friendly community and raise awareness of the Community Bat Program of BC as bats help support local food systems.
9. Integrate local food production and local food production opportunities into the economic development related activities undertaken by the City.
10. Consider allowing commercial gardening activities as a temporary use on vacant parcels in the **downtown**.
11. Consider developing a Local Food Action Plan that considers and addresses the following areas:
 - a. Assessment of the local and regional agricultural context
 - b. Climate change and its effects on local and regional food production
 - c. Local food assets, including, but not limited to lands, facilities, local capacity and programs, related organizations and other food growing assets
 - d. Local food production and security gaps and needs
 - e. Vision and goals for local food production and security
 - f. Action plan and implementation to improve local food production and security

5.4 Sustainable Waste Management

Solid waste is collected by the City of Dawson Creek and transferred to the Bessborough landfill, which is managed by the Peace River Regional District. In addition to solid waste, the City of Dawson Creek works closely with organizations within the community to provide a range of waste management solutions, including recycling and composting locations. The ultimate goal for any sustainability best practice is to become business as usual. Continually making strides to better manage solid waste will move the City closer to achieving this goal and the development of curbside recycling and composting will be a large step forward. In addition, increased management of construction and/or demolition waste will also ensure that all waste in Dawson Creek is managed sustainably.

Objectives:

1. Reduce the amount of solid waste collected by the City and transferred to local landfills.

2. Increase the lifecycles of existing landfills through the reduction in the amount of waste transferred to them.



Image 8: Recycling bin

Policies:

1. Develop a curbside recycling 'blue box' program with educational tools that all residents have access to.
2. Develop a public education and awareness campaign on the importance and benefits of composting.
3. Investigate the feasibility of developing a city composting program.
4. Consider working alongside local businesses to implement alternatives to single-use plastics (e.g. plastic bags and plastic water bottles).
5. Continue to develop educational materials to be distributed to the community that identify what waste can and cannot be collected by the City to be transferred to landfills.
6. Continue to seek out grant funding and community partnerships to support sustainable waste management activities, such as recycling, composting and other waste reduction initiatives.

5.5 Strategies for Climate Change

Climate change is resulting in impacts to communities that include increased shifts in temperatures, greater instances of extreme weather events and changes in seasonal precipitation patterns. The implications of climate change on a community are damage to property and infrastructure from extreme weather events, higher instances of freeze-thaw periods, degradation of natural ecosystems, changes to local agricultural production and community health and wellbeing. Minimizing Dawson Creek's contribution to climate change is a responsibility shared between the City, residents and business community.

Objectives:

1. Reduce greenhouse gas emissions in a holistic approach that considers transportation, utilities, waste management and industry.
2. Prepare the City of Dawson Creek to be able to address the anticipated impacts of climate change.

Policies:

1. Consider developing a Community Energy and Emissions Plan to evaluate the community's existing energy use and greenhouse gas emissions and develop strategies for reducing energy consumption and emissions, improve efficiency and increase the local renewable energy supply.
2. Focus on creating awareness regarding the impacts of flooding in the area, and work towards adaptation planning and mitigating the effects of flooding by conducting assessments and undertaking recommended actions from those assessments.
3. Support increased outreach, education, and enforcement of automobile idle-reduction within the City.

4. Seek grants, partnerships or other alternatives to municipal funding to minimize greenhouse gas emissions through the reduction of organic discards, such as food scraps, manure and grass clippings, in City landfills.
5. Retain existing vegetation on land undergoing new construction and development as much as possible.
6. Improve active and public transportation options to reduce personal vehicle use and related emissions within the City.
7. Develop and regularly update a Climate Adaptation Plan that will assess and prioritize future climate risks across all aspects of Dawson Creek that; recommends adjustments to plans, policies, and operations that strengthen community resilience to future climate risks; takes an adaptive management approach; and includes performance targets and monitoring activities.
8. Conduct a cost-benefit analysis of long-term climate adaptation measures.
9. Include climate adaptation and resilience in all decision making processes, such as when undertaking a review of planning and land use development patterns, infrastructure standards, and flood mitigation policies to ensure adequate climate risk management and optimization of investment opportunities.
10. Collaborate with senior and regional governments, public agencies, community organizations, businesses, and individuals for the coordination of climate resilience planning, policies, and initiatives.
11. Strengthen community resilience by increasing food, energy, and water security.
12. Raise community awareness of climate resilient actions that can be implemented at home, such as water conservation, fire smart planning, and on-site stormwater management.
13. Encourage the Provincial Government to enhance tools, provide information, and support local governments to better manage climate risks; including but not limited to weather and climate monitoring, climate projections, design guidelines, and planning support.

Organics within landfills can be a significant contributor of landfill waste, and also contribute greatly to GHG emissions.



Image 9: Fertile agricultural lands

6. Our Plan for Mobility

It is recognized that getting around the city safely and effectively throughout all seasons is a huge priority for everyone who lives in and visits Dawson Creek. The importance of being inclusive and mindful of all abilities and preferences of mobility as transportation networks and options continue to be established throughout the city is acknowledged. Providing an opportunity for active transportation that links neighbourhoods together throughout the city are key elements to a successful mobility plan for Dawson Creek.

The City developed a Transportation Master Plan in 2013 to guide the development of transportation facilities and infrastructure. The Transportation Master Plan contains a number of objectives, directions, general policies, cross-section designs and list of improvements related to active transportation, public transit, parking and the overall road network. It also includes a number of operational and management directives to ensure effective planning and coordination in implementing the plan. The overall vision for transportation in Dawson Creek, as directed by the Transportation Master Plan is:

“Dawson Creek is a highly mobile community with a safe, connected multi-modal transportation system that facilitates efficient vehicle travel and goods movement, and provides enhanced and accessible conditions for residents to walk, bicycle, or ride transit.”

Our Plan for Mobility has been designed to reflect the direction of the Transportation Master Plan and works towards implementing it.

6.1 Multi-Modal Road Network

This aspect of mobility reflects the City’s desire to continue to build and maintain a safe and efficient road network that affords residents with options for different modes of travel.

Objectives:

1. Expand the existing road network to connect existing and future neighbourhoods together, while meeting future capacity needs for different modes of transportation.
2. Provide Dawson Creek residents with safe and efficient transportation opportunities for different modes of transportation that are guided by current best practices.

Policies:

1. Ensure new roads maintain the road standards as outlined in the Transportation Master Plan.
2. Ensure new infrastructure is universally accessible.

3. Improve intersection operation and safety for key intersections to ensure an acceptable level of service for pedestrians, cyclists and vehicular traffic alike.
4. Ensure that all local roads have sidewalks and trees on both sides of streets within one block of lands designated as institutional, particularly for future schools or community facilities.
5. Ensure that all arterial roads in new developments within the City have sidewalks and trees on both sides of the right-of-way.
6. Ensure that all local roads in all new developments within the City have sidewalks and trees on at least one side of the right-of-way.

6.2 Transportation

The City aims to provide affordable and reliable opportunities for the transportation of people and goods, both internally within Dawson Creek and externally to other communities.

Objectives:

1. Provide easier access to other Canadian cities through increased air travel opportunities.
2. Improve bus service and facilities to enhance public transit as an alternative to single-occupant vehicle travel.
3. Explore ways to engage with and effectively use CN Rail service for the transportation of goods.

Policies:

1. Support BC Transit in the development of a regular transit system service review.
2. Promote partnerships with BC Transit to increase public engagement in public transportation planning to identify better transit routes and strategies to increase ridership.
3. Work with BC Transit to explore other options to create a flexible, accessible, and affordable public transit system.
4. Investigate the feasibility of providing bus service to Pouce Coupe to promote sustainable inter-community travel options. Consider cost-sharing options for providing this service with the Village of Pouce Coupe.
5. Investigate transit shelter funding through BC Transit's "Transit Shelter Program" to fund priority transit stop improvements.

6. Require transit infrastructure in or adjacent to large redevelopment sites and subdivision projects where an internal road network and/or a large parking lot is required.
7. Ensure safe and convenient transit stops are located near commercial **mixed use** and medium and high-density residential areas.
8. Require interim transit service (such as a private or community shuttle service), at the cost of the development, where the approved development is not consistent with City transit planning until public transit service is available.
9. Expand the Dawson Creek Regional Airport to host direct flights from Dawson Creek to major cities like Vancouver, Edmonton and Calgary.
10. Consider increasing the frequency of direct flights during the summer when tourists visit the Region, and workers come from out of town for seasonal employment.
11. Consider reviewing and updating the Airport Master Plan so that short, medium and long-term development initiatives are explored to meet future aviation demand.
12. Engage with Canadian National (CN) Rail on diversified transportation and business opportunities within and beyond city boundaries.
13. Consider undertaking an assessment on the use and impacts of the railway corridor within city limits, and use the results to explore future rail development opportunities as a transportation resource.
14. Require new development near the railway corridor to take into account prescribed setbacks from railways to prioritize safety and adequate buffering.
15. Promote walkability and alternative forms of transportation within Dawson Creek to increase community connectivity by expanding pedestrian infrastructure and increasing safe pedestrian crossings across the railway.
16. Collaborate with the Ministry of Transportation and Infrastructure to maintain and make improvements as necessary to Highway 97 (Alaska Highway) and Highway 2 corridors.
17. Prepare and maintain a transportation master plan that supports climate resilience by ensuring appropriate emergency access and egress.
18. Support the development of a regional emergency transportation system by partnering with regional and provincial agencies in the identification of an integrated network of road, water, and air transport facilities designed to retain functionality following a damaging climate event.

6.3 Active Transportation

To provide residents with the ability to travel throughout Dawson Creek as pedestrians, cyclists or by other active means safely and efficiently through the development of a network of interconnected sidewalks, cycle tracks, multi-use trails and bikeways.

Objectives:

1. Develop an interconnected, accessible, multi-seasonal and safe active transportation network throughout Dawson Creek.
2. Utilize green corridors and **linear parks** more effectively to promote healthy communities by providing options for movement throughout the City.

Policies:

1. Ensure new pedestrian, cycling and multi-use network expansions follow the direction for their development as contained in the Transportation Master Plan and shown on Schedule C.
2. Ensure any necessary acquisition of lands to facilitate the development of the trail and green corridor network shown on Schedule D. These lands may be acquired through parkland dedication at time of subdivision, donation, land trade, or by cash acquisition.
3. Continue to expand the trail and green corridor network over time by adding connections to it from residential subdivisions in the north and south.
4. Seek partnerships with adjacent local governments to connect the City's trail and green corridor network at the city limits to other trail networks and corridors outside the city.
5. Identify mid-block crossings and determine which are necessary and suitable for greenway connections. Develop these as a part of an overall trail and green corridor network.
6. Seek other proposals or uses for mid-block crossings in areas that do not fit within the proposed City-wide trail and green corridor network.
7. Where **linear parks** cannot be acquired through parkland dedication, the City will explore ways to encourage dedication by compensating property owners when land is made available for **linear parks**. Methods of compensation may include but are not limited to:
 - a. Increased density on the balance of the subject property
 - b. Density transfer
 - c. Grants-in-aid
 - d. Tax exemptions or land trades

8. Consider, in situations where there is a willing seller, the purchase of all or a portion of properties in high priority access areas where it is unlikely the required land can be obtained in less costly ways in the desired time-frame. Where land is purchased, funds will be sought from the following sources:
 - a. General tax revenue
 - b. Designated funds approved through referendums
 - c. Other sources, such as grants
9. Consider alternatives to help offset costs associated with purchasing linear parks/trailheads. For example, where lots are purchased, and only a portion of the site is needed for park purposes, the portions not required could be severed and sold to offset costs.
10. Require new developments to separate sidewalk edges from curbs by including climate tolerant landscaping or hardscape for the protection of pedestrians.
11. Require combined walking/cycling paths to provide short-cuts connecting new residential subdivisions and destinations such as schools, transit stops, recreation facilities and employment nodes.
12. For large redevelopments or subdivision projects where an internal road network and/or a large parking lot is required, require safe pedestrian walkways through parking areas to entrances and nearby transit stops.
13. Explore ways new development can improve pedestrian facilities, such as reducing pedestrian barriers, increasing opportunities for crossing busy roads safely, and providing direct routes to transit, schools, and businesses.

6.4 Connecting Neighbourhoods

To create neighbourhoods that link together through interconnected active transportation infrastructure, providing ease of access for pedestrians and cyclists to move from one neighbourhood to another.

Objective:

1. Develop active transportation connections that focus on linking existing neighbourhoods, new neighbourhoods and public amenities.

Policies:

1. Ensure that all new subdivisions and neighbourhoods have sidewalks on local roads.
2. Consider multi-use trails connecting neighbourhoods in various parts of Dawson Creek, especially connecting the neighbourhoods north of the Alaska Highway and Canadian National Railway to the neighbourhoods south of the highway and railway.
3. Develop wayfinding signage throughout the City for the following:

- a. Identifying different neighbourhoods/areas in the City
 - b. Wayfinding between neighbourhoods, parks and public spaces
 - c. Identifying key community gateways, including entrances into Dawson Creek and the **downtown**
4. Consider connectivity between neighbourhoods when assessing neighbourhood or subdivision plans.
5. Require multi-use trails and lanes to link to adjacent major open spaces, parks, schools, other public institutions and large activity areas as a priority at rezoning.
6. Ensure new cul-de-sacs incorporate active connections to enable the movement of people through them.

6.5 Parking

The provision of parking facilities is necessary to accommodate the needs of motorists, but can also lead to increased automobile use, underutilized lands and a built form that is discouraging to pedestrians. The provision of parking must meet basic demands while encouraging other modes of travel and the development of parking facilities that do not detract from the urban fabric of the community.

Objective:

1. Provide transportation infrastructure that results in a decrease in the use of single occupancy vehicles and therefore results in a reduction for parking.
2. Create more pedestrian friendly and scaled streets.

Policies:

1. Consider the establishment of a cash-in-lieu of parking mechanism in the Zoning Bylaw.
2. Work with employers to encourage and develop incentives for “travelling green” and recognize businesses that promote this notion.
3. Provide transportation infrastructure that results in a decrease in the use of single occupancy vehicles and therefore results in a reduction for parking.
4. Consider developing landscaping, lighting and design standards for surface parking lots.
5. Consider opportunities to develop shared parking (public or private).
6. Promote the City’s trail and green corridor network as an alternative mode of transportation.
7. Encourage underground, tuck under and rear of parcel parking facilities in new developments.

8. Within the Sunset Ridge-Harvest View sustainable neighbourhood:
 - a. Ensure garages, driveways and parking areas are accessed by rear lanes where appropriate.
 - b. Provide street access, provided that negative impacts on the pedestrian environment are reduced, to low-density residential developments where rear lane alley access does not exist.
 - c. Ensure that off-street parking in commercial areas is located at the rear of properties and not visible from a fronting street.



7. Our Plan for Healthy and Vibrant People

The City of Dawson Creek strives to create a safe, supported, socially connected environment where people are encouraged to explore their culture and heritage, participate in art and recreation programming, and attend community-wide events. The City strives to support and create opportunities for understanding and reconciliation with Treaty 8 First Nation communities, and be inclusive and welcoming to new residents. The City realizes that some of the most important community-held values associated with a healthy and supported community are the affordability and availability of suitable housing and appropriate infrastructure and planning for current and future residents to healthfully age in place.

7.1 Social Health and Wellness

A well-developed community affords residents with access to a number of needed health and social services, including childcare, health services, education and poverty supports. The majority of these services are provided by other levels of government and social organizations, however, the City can play a role in supporting them in delivering services required to maintain a healthy and happy community.

Objectives:

1. Continue to build an inclusive, healthy community where people feel socially connected and that they have the tools and opportunities to thrive.
2. Support social and non-profit organizations that provide critical services to the community, such as housing and community living societies.
3. Recognize the social isolation experienced by citizens, especially seniors, and consider programming opportunities for arts, culture, recreation and social interaction spaces to reduce this isolation.

Policies:

1. Investigate and establish policies and guidelines for partial or full property tax exemptions for properties or buildings owned or leased by non-profit organizations to provide social, cultural or recreational services and programs for public benefit.
2. Support the integration of community services, such as places of worship, schools, care centres, group homes and seniors housing, into residential areas where appropriate.
3. Advocate to and support other levels of government and partnerships in the development of addiction treatment facilities and mental health facilities to provide access to support and resources for those who need it.
4. Consider developing or providing support for the development of a temporary safe drop-in space as a community after-care resource for those transitioning out of addictions/mental health treatment.
5. Continue to recognize and support the important contributions of volunteers and non-profit groups and agencies that bring significant value to the community.
6. Review and implement the City's purchasing policies to prioritize local social enterprises in the bid tendering process on purchasing products and services.
7. Consider developing a Youth Advisory Committee or Youth Advisory Council so youth in the community are engaged in participatory decision making.

7.2 Arts, Culture and Heritage

Dawson Creek has significant assets in its artistic community, growing diversity of residents and rich heritage as an agricultural community that has evolved into the hub of the South Peace region. All of these assets contribute to the quality of life and sense of community experienced by residents. There is an opportunity to further capitalize and strengthen these assets by undertaking initiatives focused on showcasing our arts, culture and heritage. Doing so will strengthen Dawson Creek as a destination for people to live, work and settle.

Objectives:

1. Support the growth of the local arts community.
2. Support the establishment of new spaces for local art in the community.
3. Recognize and celebrate Dawson Creek's rich agricultural heritage.
4. Celebrate Dawson Creek's growing diversity and newcomer populations.

5. Partner with different cultural and ethnic groups within the community to build cohesion, educate and engage with residents.
6. Identify, protect and enhance buildings, landmarks, views and places of historical significance in Dawson Creek.

Policies:

1. Identify opportunities to support the arts when making planning, service, and program decisions.
2. Encourage the use of local art and artists for public art displays within the City.
3. Consider developing a City-owned industrial studio space in the **downtown** to provide affordable and accessible studio space for local artists involved in industrial and fabrication based arts.
4. Continue to look for opportunities to support and enable live-work studio spaces for artists.
5. Encourage new major arts and performance related facilities to establish in the **downtown**.
6. Work with local cultural organizations to help them acquire spaces to practice cultural activities.
7. Encourage festivals, events and activities that showcase the growing diversity of the community.
8. Provide for the Identification of the City's built, natural assets and intangible heritage resources by creating an Official Community Heritage Registry.
9. Explore ways to preserve and embrace the agricultural roots and heritage of the city, including supporting local farmers and ranchers.
10. Consider developing a heritage preservation process to preserve key heritage resources, such as the art gallery and the Walter Wright Pioneer Village.
11. Consider implementing a program of preserving and protecting the most significant built heritage resources, consistent with Part 15 of the *Local Government Act*. For example:
 - a. Protect publicly owned properties on the Community Heritage Register through heritage designation.
 - b. Introduce a program of heritage incentives.
 - c. Seek opportunities to designate private properties listed on the Community Heritage Registry.

12. Invest in Dawson Creek's heritage facilities in order to make needed improvements to resident and visitor experiences. Specifically address:

- a. The NAR Station Museum
- b. Walter Wright Pioneer Village
- c. Other existing and proposed publicly owned facilities and resources



Image 11: Downtown Dawson Creek

7.3 Parks, Recreation and Community Events

Providing opportunities and spaces for residents to stay physically and socially active is vital to the overall health and quality of life of a community. Affording residents with access to different activities, events and spaces that meet the unique needs of different user groups will be focal in contributing to the overall livability of Dawson Creek.

Objectives:

1. Focus on providing programming and social opportunities for a range of ages.
2. Continue to expand the City's trail network as set out in the Transportation Master Plan on a yearly basis.
3. Plant trees in conjunction with the development of new trails.
4. Protect natural assets, such as the Dawson Creek corridor.

Policies:

1. Integrate park planning and design with broader community planning initiatives related to land use, residential development, transportation and provision of community amenities, including:
 - a. Social, celebratory and contemplative spaces
 - b. Public art
 - c. Heritage, the environment, First Nations culture, veteran and local immigrant culture
 - d. Streetside cafes in the **downtown** core in the summertime
2. Prioritize the creation of a public gathering place on City-owned land within the **downtown** core that will serve as a community celebration and civic engagement space.
3. Encourage partnerships with community groups and educational institutions to implement programming within City parks that benefits local neighbourhoods and City residents.
4. Reconnect creeks with public park spaces by providing access to the creek (where appropriate). Public park spaces could include viewpoints, interpretive signage, bridges, walking paths, programming or celebratory spots or venues directly adjacent to the creek.
5. Continue to provide the use of public open spaces for community events and ceremonies, such as street festivals or park events, as per the Dawson Creek Temporary Road Closure and Event Manual.
6. Consider organizing a community bulletin or shared column for community groups and organizations to share their events and activities.

7. Engage with the growing newcomer populations about their needs in relation to recreation and social activities. Consider opportunities to develop culturally integrative parks and recreation facilities and programming.
8. Protect creek banks, steep slopes, ravines and environmentally sensitive areas.
9. Continue to expand the trail and green corridor network as set out in Schedule D.
10. Apply universal design and **Crime Prevention Through Environmental Design** principles when planning and designing trails.
11. Investigate opportunities to partner with the Peace River Regional District and/or the Village of Pouce Coupe to develop and connect trails across jurisdictions.
12. Consider reviewing and updating the City of Dawson Creek Parks and Recreation Master Plan.



Image 12: Dawson Creek community event

7.4 Accessibility and Aging-in-Place

Becoming an inclusive community requires focused efforts on ensuring the unique needs of different demographic groups and persons with mobility challenges are considered and addressed. A focal point of this is ensuring universal design is integrated into the built environment of a community. This includes improving the accessibility of public facilities, streets, parks and buildings in all seasons. Identifying required health and social programming needs of ageing and disabled populations and finding ways to support that service provision is also vital to creating an accessible community where seniors can age-in-place.



What is aging-in-place?

Aging-in-place is the ability for individuals to maintain a healthy, independent and autonomous lifestyle in their community regardless of their age or impairments.

Dawson Creek is a young and thriving community but will see its seniors' population grow in the future as middle-aged residents age into the seniors' demographic. Being proactive now in implementing accessibility age-friendly initiatives is the better approach in the long-term as opposed to being reactive in the future.

Objectives:

1. Improve the ability for seniors and persons with mobility challenges to navigate the built form of Dawson Creek.
2. Work with service providers and agencies to identify and address service gaps and needs of seniors in the community.
3. Take an age-friendly approach towards civic affairs that considers the needs of seniors in decision-making processes.
4. Recognize that housing and transportation are typically the two main areas that cause challenges for seniors and persons with mobility challenges and seek initiatives to improve them.
5. Increase the civic participation of seniors in the community when developing and implementing plans, policies and programs.

Policies:

1. Consider building or design guidelines that allow for new residential developments to accommodate persons with mobility limitations. Considerations include visibility, adaptability or universal design.
2. Ensure new development accommodates the needs of wheelchair and medical scooter users.
3. Provide universal physical accessibility in all civic buildings and facilities, and promote the same in all other new developments.

4. Develop an Age-Friendly Assessment and Action plan that engages with local seniors and service providers to identify the needs of local seniors and initiatives to improve their ability to age-in-place for the following areas:
 - a. Outdoor spaces and buildings
 - b. Housing
 - c. Transportation
 - d. Social participation, respect and social inclusion
 - e. Community supports and health services
 - f. Civic participation and employment
 - g. Communication and information
5. Ensure all new sidewalks, crosswalks and transit stops are constructed for universal physical accessibility, including auditory traffic signals.
6. Consider implementing incentives and funding mechanisms to stimulate the development of accessible and seniors' housing, such as permissive tax exemptions, density bonusing, reduced parking requirements and waiving of development fees.
7. Encourage seniors' housing to locate in a 400 m (800 m maximum) walking radius to services and amenities desired and accessed by seniors.
8. Look for opportunities to develop partnerships between different seniors' and housing organizations and agencies to combine their assets, resources and abilities to develop seniors' housing.
9. Support the development of "adult living" communities, provided that they meet the following:
 - a. Has adequate support facilities, such as intermediate and extended care
 - b. Is connected to the municipal water and wastewater systems
 - c. Is compatible with surrounding uses in terms of use, scale and density

7.5 Community Safety

Creating a sense of safety will facilitate increased human activity, adding to community vibrancy. This includes ensuring the built environment incorporates a design that enhances a sense of safety and providing services and spaces that individuals can access to gain greater security in instances where they are threatened.

Objective:

1. Prioritize community members' safety and security in their homes and their community.

Policies:

1. Encourage citizens to create neighbourhood groups to keep an eye on their community for home and car theft.
2. Utilize **Crime Prevention Through Environmental Design** principles in the review process for rezoning and development applications.
3. Explore initiatives for informational handouts and advertisements about drug use and the negative impacts they can have on health and well-being to be distributed in places where youth reside.
4. Invest in a shelter or safe space for women and children fleeing from violence or needing a temporary place to live.
5. Improve city infrastructure as a crime prevention measure, including lighting improvements, beautification, and community clean-ups.

7.6 Affordable Housing and Homelessness

Providing **affordable housing** was identified as a key community priority. Many residents are struggling to access housing that falls under 30% of their income, the typical measure of **affordable housing**. Many others require social housing, which provides them with vital stability needed to access social programming and employment. There is a broad spectrum of housing types in the housing continuum (shown below), which should all be included in the delivery of a community's housing stock.

Figure 2: Housing Continuum Spectrum



Objectives:

1. Work towards ensuring there is housing stock available for a range of housing needs.
2. Work with partners such as BC Housing and Canada Mortgage and Housing Corporation and develop partnerships with local non-profit agencies to provide a range of **affordable housing** options for residents, with a particular emphasis on rental for low-income individuals and families, seniors, and those with disabilities.

Policies:

1. Research current housing stock and provide an inventory of available housing units. Research how the shadow population is affecting this number and the available options for residents.

2. Research current homelessness statistics and see what the current homelessness trend is.
3. Become a champion of addressing homelessness and work with regional, provincial and organizational partners to make it a priority in the city.
4. Consider providing municipal land at market or below market rates for the purposes of creating affordable, non-market housing.
5. Consider providing parking relaxations or other development incentives for development proposals incorporating non-market **affordable housing**.
6. Explore ways to increase affordable rental and special needs/supportive housing – including seniors' housing – with preference given to locations that include amenities, and services, including transit.
7. Consider supporting demonstration or pilot projects that showcase affordable residential applications of energy efficient technology or systems.
8. Explore the implementation of a rent-control policy to eradicate the dramatic rent increases and decreases felt with industry changes.

7.7 Indigenous Peoples

Dawson Creek is located in Treaty 8 territory and has a large and diverse indigenous and Metis population residing within the city. Incorporating indigenous culture into the physical landscape, celebrating the different languages and cultures and working to become more aware of the needs of the indigenous residents in Dawson Creek will create a more inclusive community. The City maintains that it has a role to play in reconciliation efforts.

Objectives:

1. Work to celebrate local indigenous culture and history in the community.
2. Foster respectful and mutually prosperous relationships with Dawson Creek's indigenous residents.

Policies:

1. Actively promote the involvement of First Nations community members in public celebrations and gatherings as performers, exhibitors or attendees.
2. Work with local Treaty 8 nations to identify opportunities to align and collaborate service provisions for members, such as education and health services, between the individual nations, the City and local service providers and organizations.
3. Consider opportunities to name new streets and public buildings with indigenous language to celebrate the historic context of indigenous peoples in Treaty 8 and Dawson Creek.

4. Investigate opportunities to erect commemorative displays in public buildings that recognize their location on Treaty 8 lands.
5. Work with indigenous groups and the Peace River Regional District to preserve, protect and enhance areas of indigenous cultural significance in and around Dawson Creek.
6. Encourage the use of local indigenous art and artists for new public art displays.
7. Identify opportunities for the inclusion of indigenous representatives on City committees and boards.
8. Partner with local First Nations to create a private inventory of cultural and archaeological sites in the city to protect these sites from development and other activities.

7.8 New Residents

Dawson Creek maintains a large transient population resulting from regional resource development communities and is experiencing growing diversity from newcomers seeking to build a new life in the community. Providing new residents with information on the community and making them feel connected and included in the community will foster a strong sense of community. This may result in more transient workers settling permanently in Dawson Creek and easing the transition of newcomers into a new life.

Objectives:

1. Ease the transition for new residents, including newcomers, when they settle in the community.
2. Build an increased sense of personal investment in the community for new residents to help mitigate transient resident cycles.

Policies:

1. Consider developing a comprehensive local services and business inventory that is accessible online.
2. Investigate the potential for developing an information resource to be available to new residents that provides information on the community, local services, recreation and social opportunities and other key areas.
3. Improve access to, and availability of, information regarding community services. Support plain language and clear communication and target immigrants and new residents to support a welcoming and socially inclusive community.
4. Continue to explore ways to engage and support the newcomer population through City civic engagement processes and leverage support from the business sector.

5. Work with social agencies and organizations that provide supports and programs to newcomers to identify ways in which the City can support their efforts.

8. Our Plan for Complete and Inclusive Neighbourhoods

Our neighbourhoods are important places where people should feel connected to their neighbours, to their direct environment and their homes. Especially in a northern location where a colder climate exists for a large part of the year, planning for the enjoyment of all seasons in our neighbourhoods is key. We also strive to have a vibrant **downtown**, which means filling empty lots and unused spaces with new businesses and community art. One of our strengths reported from community members and visitors alike is our small-town, community feel, and we intend to keep it that way with place-making and effective neighbourhood planning.

8.1 Planning Our Neighbourhoods

In order to provide more detailed neighbourhood-level land use planning for areas of undeveloped land, the City of Dawson Creek will require the completion of a neighbourhood concept plan. This is a secondary land use plan that supplements the Official Community Plan. Once completed, Neighbourhood concept plans are amended to the Official Community Plan to ensure that their intent is legally binding.

The development of a **neighbourhood concept plan** may be triggered by a variety of conditions including:

- Whether the proposed development will occur on raw land
- If the proposed development will see the revitalization of a previously developed area
- The congruency of proposed future land uses with current Official Community Plan and Zoning designations in place

Neighbourhood concept plans are required for all Development Reserve areas as identified in this Official Community Plan. The purpose of a neighbourhood concept plan is to provide guidance and direction on such topics including land use, transportation and parking, servicing, urban design, housing, community facilities and parks and recreation.

Objective:

1. Establish neighbourhood concept plans that guide the development to create communities and neighbourhoods that are livable, accessible, exemplify good planning principles and utilize resources and infrastructure in a fiscally sustainable manner.

Policies:

1. Communicate completed neighbourhood plans to citizens.

2. Ensure that neighbourhood plans are developed for all development reserve areas as shown in Schedule B.
3. Ensure all neighbourhood plans are incorporated into the Official Community Plan.

8.2 Neighbourhoods for All Seasons

The winter season can present a number of physical, social and economic challenges for a community. It also presents immense opportunities to create a thriving winter community through embracing and capitalizing on the unique features and characteristics of the season. Dawson Creek experiences a long and hearty winter that consists of low temperatures, snowfall, wind and wind-chill and low daylight hours. This can present challenges to many residents, including low-income residents, newcomers, seniors and individuals with mobility challenges.

Traditional city planning, development patterns and civic policies have not responded to winter conditions. Winter is inherent in Dawson Creek's identity and can contribute to the livability and overall quality of life experienced in the community. The uncomfortable elements must be mitigated to enhance comfort for residents to be outside and moving about the community. The positive elements, such as snow landscapes, must be celebrated and built on to create a positive winter environment and culture in Dawson Creek.

Objectives:

1. Celebrate the winter season and grow a winter culture in the community.
2. Plan for and develop neighbourhoods that respond to winter conditions.
3. Capitalize on the unique benefits of winter conditions for recreational, social and economic purposes.
4. Mitigate the more severe winter conditions to improve comfort and safety for residents.

Policies:

1. Consider hosting special events year-round, including activities organized for the winter months.
2. Embrace a **winter city** model of event planning, ensuring that amenities are accessible to all.
3. Consider developing a pedestrian snow clearing plan to identify key pedestrian routes within the City that would receive additional snow clearing and winter maintenance.
4. Integrate winter friendly design principles into the City's **Development Permit Area** guidelines.
5. Encourage new buildings and subdivision layouts to be oriented to capture maximum passive solar gain.
6. Identify opportunities for strategic investment in infrastructure that mitigates wind and blowing snow, such as bus shelters, windscreens and tree planting.

7. Create vibrancy and warmth through the installation of temporary lighting in the **downtown** during winter, such as adding lighting and exterior LED Lighting installations to buildings and infrastructure.
8. Find ways to ensure that new park development incorporates infrastructure and spaces that are usable during the winter season.
9. Develop a comprehensive Winter Strategy that addresses the following areas:
 - a. Identifying challenges and barriers experienced by the community in winter
 - b. Physical environment – improving how the built environment and urban fabric, such as streets, buildings, public open spaces and development pattern of the community responds to winter conditions
 - c. Social – addressing winter’s effect on the social welfare of the community, including health, safety and environmental considerations
 - d. Economic – mitigating seasonal changes in employment and capturing the economic opportunities brought on by winter
 - e. Policy – developing and modifying the policies and programs that guide the decision making and service provision of a community to respond to winter considerations

8.3 Placemaking

Placemaking is the strengthening of connections between people and the places that they share. It is a collaborative process by which public spaces are reimagined and reinvented by the community in respect to the physical, cultural and social aspects that define a place. Many times, this results in pilot or temporary projects focused on bringing life and vibrancy to a passive or inactive space. The objective of placemaking is to achieve the maximum shared value of spaces and places that exhibit the following attributes:

- They are accessible and well connected to other important places
- They are comfortable and project a good image
- They attract people to participate in activities there



What is Placemaking?

Placemaking inspires people to collectively reimagine and reinvent public spaces as the heart of every community. Strengthening the connection between people and the places they share, placemaking refers to a collaborative process by which we can shape our public realm in order to maximize shared value. More than just promoting better urban design, placemaking facilitates creative patterns of use, paying particular attention to the physical, cultural, and social identities that define a place and support its ongoing evolution. *(Source: Project for Public Spaces)*

- They are social environments where people want to go to again and again

A comprehensive approach to placemaking will help contribute to the livability of Dawson Creek by creating spaces and places that attract people and showcase the ingenuity and artistic creativity of the community.

Objective:

1. Create accessible, connected, comfortable and attractive public spaces that facilitate social interaction among people.

Policies:

1. Develop an inventory of underperforming public spaces in Dawson Creek and identify priority spaces to undergo a placemaking process.
2. Encourage short-term experiments that create cost-effective temporary improvements to public spaces.
3. Continue supporting food fairs and other public events in community facilities, parks, and rights-of-way, such as car-free street fairs.
4. Develop public outdoor places that support programmed or spontaneous performances, art installation, and plays.
5. Work with partners to fund a major public art initiative and/or installation in a highly visible area.
6. Look for opportunities to incorporate indigenous art and culturally based design motifs into public and private developments, with the potential of adding related guidelines into **Development Permit Areas**.
7. Consider developing a Placemaking Strategy for the **downtown** that provides a framework for undertaking community-oriented design processes to reinvent key spaces in the **downtown** to enhance vibrancy and social activity.

8.4 Vacant Lands and Brownfield Development

There are a number of vacant and underutilized lands throughout Dawson Creek, including some that have been subjected to contamination from previous uses. These lands in their existing forms detract from the aesthetics, character and safety of Dawson Creek. They also represent immense opportunities for **infill** development and the rebirth of life and activity into inactive spaces. Developing these sites aligns with a number of community priorities, including **downtown** revitalization, efficient growth management, financial sustainability, and environmental sustainability. This will require a strategic approach to facilitate development that includes incentives, education and other City supports.

Objectives:

1. Facilitate the remediation and redevelopment of **brownfield** lands.
2. Encourage the development of vacant lands in Dawson Creek.

Policies:

1. Permit temporary or permanent use of City-owned vacant lots for community gardens and other local food security initiatives.
2. Create an inventory of **brownfields** and ensure site profiles resulting from development applications for parcels that indicate contamination or potential contamination are entered into the inventory.
3. Consider waiving or reducing Development Cost Charges for the remediation and development of existing **brownfields**.
4. Consider acquiring strategically located vacant lands that have no continuation for the purposes of controlling their redevelopment, specifically in the **downtown** area.
5. Consider opportunities to work with social housing agencies and housing societies to acquire and remediate contaminated lands to construct **affordable housing** with funding from federal programs, such as the New Building Canada Fund – Small Communities Fund.
6. Access funding from the Federation of Canadian Municipalities (FCM) for **brownfield** planning, environmental assessments, remediation and redevelopment.
7. Develop a **Brownfield** Development Strategy that considers:
 - a. Existing vacant, underutilized and **brownfield** inventory in Dawson Creek
 - b. Incentives for remediation and redevelopment
 - c. Barriers to redevelopment

8. Consider providing incentives and development tools, such as revitalization tax exemptions, density bonusing and expedited development approval processes to facilitate the following types of development on **brownfield** and vacant parcels:
 - a. **Brownfield** remediation and non-industrial use redevelopment
 - b. Mixed-use development with ground floor commercial uses
 - c. Neighbourhood commercial uses in existing residential areas



Image 13: View of the valley

8.5 Downtown Revitalization

Downtown revitalization can provide a community with numerous benefits, including economic development, improved quality of life and attractiveness to outside residents and acting as an anchor towards realizing more efficient and sustainable land use and development patterns. A vibrant and active **downtown** can be a catalyst for further **infill** and densification, limiting future sprawl and providing the City with fiscal sustainability through an efficient property tax base.

Proper revitalization of Dawson Creek's **downtown** must see it become a complete neighbourhood. This requires a mix of permanent residents, mixed-use development, businesses that are active past traditional business hours, improved **streetscaping** and public spaces that draw people from all over the community. Reinventing the **downtown** into the focal point of Dawson Creek and the hub of activity in the community is vital to the long-term stability and sustainability of the community.

Objective:

1. Encourage the development and redevelopment of the **downtown** to create a vibrant community.

Policies:

1. Review the City's Attractions Master Plan and consider updating and incorporating it into a **Downtown** Revitalization Plan that addresses areas such as:
 - a. Refined land use plan for the **downtown**
 - b. Strategies to facilitate **infill** development on vacant parcels
 - c. Active and public transportation improvements
 - d. Beautification, landscaping, lighting and **downtown** park development

- e. **Streetscaping** and urban design for the public realm
 - f. Incentive options to promote development in the **downtown**
 - g. Promoting arts, cultural and public art programs
2. Promote major government offices and cultural facilities to locate in the central **downtown** core.
 3. Build on existing efforts and focus public realm investments in the **downtown** to increase its attractiveness to residents and visitors as a place to work, shop, live, learn, and visit.
 4. Encourage the use of international symbols on signs.
 5. Permit the adaptive re-use of heritage and other buildings in the City's **downtown** to mixed-use developments.
 6. Consider undertaking a pilot project to develop a "green alleyway" in the **downtown** and consider hosting "alleyway" or "laneway" community events.
 7. Focus development related to culture, arts and civic uses to lands surrounding the Calvin Kruk Centre.
 8. Develop guidelines to enable **infill** of underutilized parcels in the **downtown** that already contain existing development and uses.
 9. Promote interim and temporary uses on vacant lots in the **downtown**, such as outdoor markets, food trucks, community gardens, temporary parks and other uses that help activate the **downtown**.
 10. Consider providing capital upgrades to the existing lanes in the **downtown** to promote their use for accessing parking facilities located at the rear of **downtown** parcels.
 11. Encourage **downtown** property owners to engage in shared parking of existing facilities as a strategy towards reducing the need for surface parking lots in the **downtown**.
 12. Investigate opportunities to work with key **downtown** stakeholders, property owners and merchants to establish a Business Improvement Area (BIA) for the **downtown**.
 13. Encourage surface parking lot owners to use a portion of their lot that fronts onto the sidewalk to host temporary uses, such as food trucks, outdoor vendors, public seating and other similar uses.

8.6 Municipal Infrastructure, Facilities and Services

Municipal infrastructure, facilities and services provide the community with essential services. In addition, the City of Dawson Creek also provides infrastructure, facilities and services that directly benefit industry in and around Dawson Creek. Any enhancement and/or expansion to infrastructure should take into consideration the impacts that both the community and industry will have on it into the future. In addition, cost recovery mechanisms should consider all users.

Objectives:

1. Efficiently use existing infrastructure while considering the impacts that resource development has on them.
2. Consider the implications of industry use on the City's infrastructure and facilities.
3. Discourage the extension of the City's infrastructure and services outside of its municipal boundary.
4. Prioritize sustainable development for the City's new infrastructure and utilities so that the City remains fiscally sustainable.
5. Continue improving the level and quality of infrastructure and services.
6. Develop a process for managing the City's assets.

Policies:

1. Discourage any increase in the capacity or extension of municipal services outside of the City's boundary.
2. Support infrastructure improvements that benefit the municipality as a whole.
3. Ensure that any expansion made to municipal infrastructure is undertaken in a cost-effective manner for all taxpayers.
4. Ensure that any expansion to municipal infrastructure takes into consideration life-cycle costs and that these costs are incorporated in any cost-recovery program.
5. Continue to seek out provincial cost-sharing opportunities, grant funding and potentially public-private partnerships to reduce the financial impacts on City taxpayers.
6. Ensure that the costs of upgrading services are borne primarily by the property owners who benefit, through the use of tools such as local area services, utility charges and other financial tools.
7. Continue to review water and sewer rates to ensure that they are equitable and adequate to cover future maintenance, repair and upgrade costs in a financially sustainable manner.
8. Consider investigating and implementing options to increase water efficiency for residents.
9. Continue to repair and replace water, sewer and storm distribution and collection systems and roads on an on-going basis.
10. Continue to require improvements to the storm drainage system to be coordinated with road network improvements.

11. Reduce water use, stormwater runoff and waste generation in municipal operations and look for opportunities to expand water reuse options.
12. Ensure the continued high-level provision of emergency services, such as fire protection, policing and bylaw enforcement to all residents of the City.
13. Provide leadership to property developers by designing water-wise/xeriscape landscaping for City lands and facilities, such as boulevards, sports fields and parks, to conserve water while ensuring proper maintenance and function.
14. Consider energy consumption and greenhouse gas emissions in municipal maintenance and operations and in the purchase of City equipment, vehicles and tools.
15. Work with partners within and outside of the City to provide space and facilities for three-stream waste separation (recyclables, organics/compost and residual garbage) at the unit level, building level, and at the neighbourhood level.
16. Investigate options that encourage developers to dispose of construction and/or demolition waste from buildings in an environmentally sustainable manner.



Image 14: Reclaimed Water Facility

9. Our Plan for Land Use and Development

As a city, we know there are a range of land uses important to the citizens of Dawson Creek. Agricultural land is crucial to maintaining the identity and heritage of the region; industrial uses are important to maintaining the vibrancy of the economy. Well-planned residential areas, with diverse housing arrangements and abundant commercial opportunities to support local business and access services, are key for attracting families and allowing them to thrive in Dawson Creek. Finding an ideal balance of land designations, along with infusing an ideal amount of park space and well planned municipal infrastructure is important to Dawson Creek.

9.1 General

The physical act of land use and development begins with the City's evaluation process in the development approvals stage. Ensuring these processes are consistent and aligned with community priorities will ensure that the final built products reflect the broader community vision and direction and creates a Dawson Creek that has high-quality, visually appealing developments for all land uses, and that land resources are managed in a manner that promotes longevity and competitiveness in Dawson Creek. In addition, how land resources are managed is directly linked to infrastructure and growth, and therefore has a vital role in the financial sustainability of any community. The land use plan for Dawson Creek is shown in Schedule B.

Objectives:

1. Ensure development applications undergo an efficient and consistent approvals process that aligns with the vision and direction of this Official Community Plan.
2. Prioritize consistent and attractive quality and character in new development that reflects Dawson Creek.
3. Work towards the efficient use of land, infrastructure and other resources to accommodate growth.

Policies:

1. Consider development applications submitted to the City with respect to consistency with future land use designations, policies and applicable **Development Permit Area** guidelines as outlined in this Official Community Plan.
2. Require development applicants to meet with appropriate City staff prior to application submission and ensure development applications are efficiently processed.

3. Develop a comprehensive set of Development Procedures that outline the various application requirements and evaluation and approval processes for the following development applications:
 - a. Subdivision applications
 - b. OCP Amendments
 - c. Zoning Amendments
 - d. Temporary Use Permits
 - e. Strata Title Conversion
 - f. Development Variances
 - g. Development Permits
 - h. Phased Development Agreements
4. Consider developing, in collaboration with the City's Approving Officer, multiple processes for subdivision applications to enable expedited subdivision applications, evaluation and approval processes for simpler subdivision types, such as the subdivision of a single-family residential parcel into two single-family residential parcels.
5. Consider Temporary Use Permits anywhere within the City of Dawson Creek as appropriate.
6. Recognize that there are no known aggregate sources within the City of Dawson Creek, but that aggregates are essential to growth and development.

9.2 Agricultural

Dawson Creek's history as an agricultural community was a prominent theme in the community engagement undertaken for this Official Community Plan and was identified as very important to Dawson Creek residents. The agricultural heritage of the area will be preserved in the future by ensuring existing agricultural land within the City's municipal boundary retains its agricultural uses. **Agricultural Land Reserve** exclusion applications to the Agricultural Land Commission will only be supported in cases where it is necessary to accommodate development needs that align with the City's long-term land use planning efforts.

Objectives:

1. Protect agricultural heritage, culture and use in the area, particularly those in the **Agricultural Land Reserve**.
2. Collaborate with the Agricultural Land Commission to support shared goals.

Policies:

1. Agricultural uses will be directed to the extent and locations as shown on Schedule B.
2. Encourage and support agricultural uses on lands within the **Agricultural Land Reserve** within and adjacent to the City boundary.

3. Consider evaluating every boundary extension request to ensure that the impacts on agricultural land are minimal.
4. Consider developing a set of criteria for evaluating boundary extension applications to ensure a consistent process is undertaken that evaluates the merits of boundary extensions versus encouraging development to locate on lands already within the city.
5. Collaborate with the Agricultural Land Commission to ensure the development of lands within the **Agricultural Land Reserve** designated for future residential, commercial, and industrial uses occurs in an incremental and orderly manner.
6. Ensure agriculture is integrated with development at the City's edge such that they are mutually beneficial. Integration considerations may include land uses, design strategies, and programs to increase the visibility and experience of urban and regional food systems for residents, as well as minimize the impacts of residential and agricultural properties across jurisdictions.
7. Continue to collaborate with the Agricultural Land Commission and the Peace River Regional District to ensure that the interface between urban and rural areas does not result in excessive trespass or complaints. Urban/rural interface design policies may include but are not limited to, transitional densities, fencing, residential building setbacks, and vegetative buffering.
8. Support agricultural activities in the **Agricultural Land Reserve** and the mandate of the Agricultural Land Commission.
9. Recognize that soil removal within the **Agricultural Land Reserve** is subject to the *Agricultural Land Commission Act*.

9.3 Residential

Dawson Creek will require housing development to accommodate future population growth and to replace ageing housing stock. Housing is a life necessity and ensuring that there is access to desired housing by different demographics, family types and income levels is vital to ensuring the long-term sustainability of a community. Ensuring new neighbourhoods contain a mix of housing types and architectural stylings will create attractive areas for people to live in while making efficient use of the City's remaining vacant and **greenfield** lands.

Objectives:

1. Allow the integration of different housing forms in all designated residential areas in a manner that mitigates impacts between different housing forms to promote a diverse housing stock.
2. Support residential growth provided that it addresses common concerns such as parking, emergency and utility vehicle access, snow removal and storage, walkability and accessibility.

3. Encourage a diversity of high-quality housing options that meets the needs of all demographics within the City, including as these needs change over time.
4. Encourage the retrofitting of older homes.
5. Ensure that new residential developments integrate with the character of surrounding neighbourhoods.
6. Encourage the development of all types of seniors' living facilities within Dawson Creek, from independent living to extended care.
7. Create a compact and complete community in the Sunset Ridge-Harvest View neighbourhood that reduces the footprint of the neighbourhood.

Policies:

1. Encourage new **greenfield** development to include a range of housing types that includes:
 - a. Single-family homes with attached or detached suites
 - b. Small lot single family homes
 - c. Semi-detached and duplex homes
 - d. Ground-oriented multiple family housing (townhouses, row houses and triplexes)
 - e. Low-rise multiple family housing (up to four stories)
 - f. Medium and high rise residential (four or more stories)
 - g. **Mixed use** residential with ground floor commercial
2. Prioritize **infill** housing development that:
 - a. Compliments the general scale, use and character of adjacent existing development at the street level
 - b. Respects existing private outdoor spaces
 - c. Is connected to municipal water and sewer systems
 - d. Can be supported by neighbouring facilities, such as schools in the **infill** development's catchment
 - e. Provides traffic studies as required (for multi-family **infill** with 4 units or more)
3. Within the Sunset Ridge-Harvest View sustainable neighbourhood:
 - a. Ensure that all residential developments address the vision of *"respecting and integrating natural site systems with development and community to create a characteristic and functional place that maximizes site opportunities and celebrates its cultural and ecological context."*
4. Ensure that required parking areas for multiple-family residential developments include **Crime Prevention Through Environmental Design** principles in their design and construction.

9.3.1 Low-Density Residential

The low-density residential land use designation is designed to facilitate the development of residential areas containing primarily single-family residential development with opportunities for attached and detached suites.

Policies:

1. Encourage Low-Density Residential as indicated on Schedule B to generally contain primarily single family and duplex residential development with a maximum **gross density** of 20 units per hectare.
2. Encourage more **green space** and improved snow storage capacity in new subdivisions.
3. Support the development of detached suites, such as coach houses, on parcels containing a single-family dwelling with rear lane access.
4. Encourage the development of attached suites in single-family homes.
5. Encourage the development of duplexes in the Low-Density Residential land use designation.
6. Support home-based businesses provided that they are clearly secondary to the principal residential use.

9.3.2 Medium Density Residential

The medium density residential land use designation is designed to facilitate the development of residential areas containing a mix of single-family, semi-detached and ground-oriented multi-family housing.

Policies:

1. Encourage Medium Density Residential, as indicated on Schedule B, to generally contain multiple-family residential development with a minimum **gross density** of 20 units per hectare and a maximum **gross density** of 45 units per hectare.
2. Encourage more **green space** and improved snow storage capacity in new subdivisions.
3. Ensure that suites are not developed within duplexes, triplexes and townhomes.
4. Ensure that individual units, their entries and private outdoor spaces are designed to maximize privacy and clearly delineate private and common spaces.
5. Encourage new medium density residential developments to provide rear lane access.
6. Ensure that medium density residential development in the Sunset Ridge-Harvest View Sustainable Neighbourhood is developed along arterials and areas adjacent to **mixed-use** village centres.

7. Ensure that medium density residential development in the Sunset Ridge-Harvest View Sustainable Neighbourhood is developed in a manner that contributes to a unified streetscape and provides ground-oriented units with direct access from the street.
8. Ensure that all homes front the street and have their principal entry onto the street in the Sunset Ridge-Harvest View Sustainable Neighbourhood area.
9. Consider density bonusing where special needs or **affordable housing** is provided.
10. Consider the use of medium density residential developments as a buffer between low density and high-density residential developments.

9.3.3 High-Density Residential

The high-density residential land use designation is designed to facilitate the development of residential areas containing higher density multi-family developments.

Policies:

1. Encourage High-Density Residential, as indicated on Schedule B, to generally contain multiple-family residential developments with a minimum **gross density** of 45 units per hectare.
2. High-density residential developments will be focused in areas located close to the **downtown**, identified neighbourhood commercial centres, along transit routes and major arterial and collector roads.
3. Consider density bonusing where special needs or **affordable housing** is provided.
4. Support individual units, including their entries and outdoor spaces, that are designed to maximize privacy and that clearly delineate private and common spaces.
5. Encourage high-density developments in the Sunset Ridge-Harvest View Sustainable Neighbourhood to contain a mix of residential, live/work and commercial uses to a maximum of six stories in height.
6. Ensure that all homes front the street and have their principal entry onto the street in the Sunset Ridge-Harvest View Sustainable Neighbourhood area.
7. Encourage more **green space** and improved snow storage capacity in new subdivisions.
8. Encourage new high-density residential developments to provide rear lane access.

9.3.4 Downtown Residential

The **downtown** residential land use designation is designed to enable a mix of residential types of different densities through the development of vacant parcels and redevelopment of single or multiple parcels.

Objectives:

1. Facilitate the **infill** and redevelopment of designated lands in the **downtown** for medium **gross density** residential of 20 to 45 units per hectare consisting of a variety of housing types.
2. Encourage a variety of residential **infill** development in single-family dwelling neighbourhoods surrounding the **downtown** core.
3. Support the development of a vibrant **downtown** core.
4. Support parcel amalgamation in the **downtown** to encourage redevelopment.

Policies:

1. Apply Intensive Residential **Development Permit Area** guidelines to all developments within the **Downtown** Residential land use designation.
2. Within areas designated for **Downtown** Residential on Schedule B, only the following development types are permitted:
 - a. Single-family residential with a suite up to a maximum **gross density** of 20 units per hectare
 - b. Duplex residential up to a maximum density of 20 units per hectare
 - c. Multiple-family residential up to a maximum density of 45 units per hectare
3. Encourage more **green space** and improved snow storage capacity in new subdivisions.
4. Encourage new **downtown** residential developments to provide rear lane access for multiple-family residential developments.

9.4 Commercial

The majority of Dawson Creek's commercial development is concentrated in the **downtown** (smaller retail and office space) and along Alaska Avenue and 8th Street (larger retail, office space, tourist accommodations and highway commercial). The commercial clustering along major arterials in Dawson Creek will continue as larger commercial developments require larger parcels. However, a focus will be put on directing as much commercial development into the **downtown** and onto existing underutilized parcels along major arterials.

Objectives:

1. Recognize the existing commercial businesses that exist within Dawson Creek.

Policies:

1. Encourage a range of commercial uses that meets the needs of both residents and visitors.
2. Focus and encourage the establishment of local commercial developments.
3. Support the development of a range of tourism accommodations, services and activities that cater to tourists.
4. Encourage the development of vacant lands within Dawson Creek.
5. Investigate opportunities to develop **brownfield** lands within Dawson Creek.

9.4.1 General Commercial

The general commercial land use designation is designed to enable the development of temporary and permanent general commercial uses to meet the retail, food and beverage and personal services oriented needs of the community.

Objectives:

1. Encourage the temporary and permanent establishment of a range of general commercial developments that meet the needs of the community, including residents and visitors, such as retail, food and beverage, and personal service establishments.
2. Limit and focus general commercial development behind highway commercial developments and along existing commercial corridors and within areas already developed as auto-oriented retail.

9.4.2 Highway Commercial

The highway commercial land use designation is designed to enable the development and **infill** development of Alaska Avenue and 8th Street to accommodate visually appealing commercial uses that include larger retail and office spaces, tourist accommodations and services, commercial uses geared toward the travelling public. This includes opportunities to develop high-density residential development to create a more mixed-use corridor throughout Dawson Creek.

Objectives:

1. Limit and focus service commercial development along existing commercial corridors and within areas already developed as auto-oriented retail.
2. Ensure commercial developments are accessible for seniors and individuals with mobility challenges.
3. Encourage commercial ventures that promote tourism.

Policies:

1. The full range of commercial land uses is permitted in the area designated as Highway Commercial on Schedule B subject to the policies contained in this section.
2. New highway commercial developments shall ensure adequate accessibility for vehicles, transit, pedestrians, and cyclists.
3. Highway-oriented service commercial uses may be permitted within existing commercial areas along the Alaska Highway, the John Hart Highway, Highway No. 2 and 8th Street as shown on Schedule B.
4. Encourage the subdivision and/or **infill** development of underutilized service commercial surface parking areas to facilitate new commercial, mixed-use and high-density residential development on sites such as:
 - a. Dawson Creek Mall
 - b. Alaska Avenue fronting parcels from 13th Street to 8th Street
 - c. Co-Op Mall
5. Encourage new large-scale visitor accommodation to locate adjacent or within close proximity to existing commercial areas.
6. Encourage boutique hotels and other smaller visitor accommodation forms, such as hostels, that are unable to locate in the **downtown** due to lack of available land to locate in close proximity to the **downtown**, such as adjacent to the Northern Alberta Railway Park.

9.4.3 Mixed Use Village Centre

The **mixed-use** village centre land use designation is designed to enable the creation of complete and walkable neighbourhoods by providing opportunities to develop small scale retail, food and beverage and personal service-oriented commercial developments that act as neighbourhood hubs in new and existing residential areas. This may include **mixed-use** development that includes residential components combined with the permitted commercial types in the **mixed-use** village centre designation.

Objectives:

1. Enable all residents to access **mixed-use** village centres within a 5 to 10-minute walking radius from the place of residence.
2. Promote **complete neighbourhoods** and enhanced walkability through the strategic development of **mixed-use** village centres.

Policies:

1. Encourage the establishment of neighbourhood-scale food vendors, including grocery stores and eating establishments.
2. **Mixed-use** village centres identified on Schedule B will generally meet the following requirements:
 - a. A **mixed-use** village centre establishment will not exceed 1,000 m²
 - b. Contain uses restricted to neighbourhood pubs, personal services, small retail and grocery and other similar uses
 - c. Be located centrally within residential areas or on corner parcels adjacent to an arterial or collector road
3. Encourage the **infill** and development of existing parcels designated as **mixed-use** village centre prior to designating new areas as mixed-use village centres.
4. Require **mixed-use** village centre buildings to be oriented along the adjacent sidewalk, including on corner parcels and have their principal entry onto the street.
5. Require **mixed-use** village centre uses to provide required parking at the rear of the parcel whenever possible.
6. Ensure that **mixed-use** village centre developments accommodate ground-floor commercial development along all street frontages and residential uses above commercial uses.
7. Ensure buildings are stepped back from the street to minimize the impacts of height and to facilitate views and solar exposure.
8. Ensure that **mixed-use** village centre developments are small in scale, local in nature and pedestrian-oriented.

Vehicle-oriented commercial uses, such as drive-through businesses and service stations are discouraged.

9. Provide alternative means for residents to get around within **mixed-use** village centres, and to travel between **mixed-use** village centres and other neighbourhoods in the city.

9.4.4 Downtown Mixed Use Commercial

The **downtown mixed-use** commercial land use designation is designed to enable the creation of a complete and vibrant **downtown** neighbourhood through the development of pedestrian-scaled and higher density forms of commercial, residential and **mixed-use** developments.

Objective:

1. Create a **downtown** core area that accommodates a variety of commercial and residential **mixed-use** developments to create a thriving and active **downtown**.
2. Prioritize the development and redevelopment of parcels within the **downtown mixed-use** commercial designation as shown on Schedule B.

Policies:

1. Encourage amalgamation of parcels to accommodate larger office/hotel/**mixed-use** projects.
2. At the street level, uses are required to emphasize employment generating uses, such as retail, office, cultural, service, entertainment and/or institutional uses, in **mixed-use** buildings within the **downtown** and along major corridors including 10th Street and 102nd Avenue.
3. Encourage larger office developments that provide over 1,000 m² of leasable space to locate in the **downtown** on vacant lots, underutilized lots and surface parking lots along 103rd and 104th Avenue and the Alaska Highway from 12th Street to 8th Street. Consider providing reduced parking requirements, allowing shared parking facilities and meeting parking requirements through on-street parking to facilitate larger office development in the **downtown**.
4. Encourage boutique hotels and other smaller visitor accommodation forms, such as hostels, to locate in the **downtown**.
5. Allow standalone medium and high-density multi-family development in the **downtown**.
6. Encourage the development of industrial studio spaces in the **downtown** that contain industrial and fabrication based processes, such as sculpting, painting, textile development, woodworking and ceramics, provided that they are not adjacent to single-family housing.

9.5 Industrial

Industrial development in Dawson Creek is largely oriented towards natural resource development, agriculture and their supporting industries. There are three primary industrial nodes in the community that contain a mix of light and heavy industrial uses in the northwest, east and southeast portions of the city. Industrial development provides the City with a strong property tax base while acting as employment generators for the community. Ensuring sufficient availability of industrial land is important to sustaining the local economy and fiscal stability of Dawson Creek.

9.5.1 Light Industrial

The light industrial land use designation is designed to enable the development of industrial development that does not create significant impacts on adjacent properties, such as noise, odour or increased heavy truck traffic. Light industrial development can be buffered easily from adjacent conflicting land uses and are smaller in scale than heavy industry.

Objective:

1. Maintain and encourage light industrial uses within the City as key employment nodes.
2. Create smaller, more compact light industrial “Districts” within the City for light manufacturing, research, studio space, and business office uses.

Policies:

1. **Infill** of existing industrial areas will be encouraged before creating new, undeveloped industrial areas except where land trade or sale would promote more desirable compact light industrial centre locations.
2. The development of light industrial land uses will be on lands designated as Light Industrial on Schedule B.
3. Encourage new light industrial development to generally locate in the following areas:
 - a. In the area north of the exhibition grounds
 - b. In the Airport Industrial Park
 - c. In the industrial area on the west side of Dawson Creek in the Highway 97/Dangerous Goods Route intersection area
4. Light industrial uses should only be permitted to the extent that they do not generate any significant noise, odours, toxic waste or increased heavy truck traffic associated with heavy industrial uses.
5. Encourage the subdivision of underutilized light industrial parcels for new development and permit panhandles for subdivided parcels that do not front onto an existing maintained City road to provide road access.

6. Encourage the amalgamation of existing parcels and/or parcels that intend to subdivide an underutilized portion out of the existing parcels to facilitate **infill** of existing light industrial areas.
7. Promote the development of industrial studio spaces in light industrial areas that contain industrial and fabrication based processes, such as sculpting, painting, textile development, woodworking and ceramics.
8. Consider permitting smaller minimum parcel sizes and increased parcel coverages for light industrial parcels that contain non-typical industrial type uses, such as research facilities, office parks, industrial studio spaces and live-work industrial shops and studios.
9. Promote the development of business centres that incorporate a mix of research and light manufacturing and business offices in light industrial areas, with landscaping and buffering on main roads to visually buffer industrial activities from vehicular and pedestrian traffic.

9.5.2 Heavy Industrial

The heavy industrial land use designation is designed to enable the development of industrial development that may result in impacts to adjacent properties or uses that are not easily mitigated. Heavy industrial is clustered away from residential uses and buffered from residential areas by non-residential land uses.

Objective:

1. Maintain and encourage heavy industrial uses within municipal boundaries to locations that do not adversely affect adjacent land uses and the City's overall air quality.

Policies:

1. The development of heavy industrial uses will be designated to areas identified on Schedule B as Heavy Industrial.
2. Heavy industrial uses are required to be connected to the City's full range of municipal servicing and developers must pay for upgrading and extensions of the services required to provide new industrial developments with the required servicing.
3. Council may consider heavy industrial developments with self-contained servicing systems under the condition that they receive approval from the appropriate authority, for example, the Northern Health Authority for septic tank installation.
4. Access to heavy industrial areas and related development will not be routed through residential areas or through areas intended for future residential development.

9.6 Institutional

The institutional land use designation is designed to enable the development of institutional uses that provide services to the community, including hospitals, public health facilities, community centres, government buildings, schools, cemeteries, community care facilities and cemeteries.

Objectives:

1. Maintain and enhance civic and institutional uses within the City.
2. Ensure there is sufficient land available to meet the current and future needs of the community.
3. Develop a **downtown** civic and cultural hub.

Policies:

1. Promote government offices, cultural facilities, museums and other similar type uses to locate on lands adjacent and in close proximity to the Calvin Kruk Centre to develop a **downtown** civic hub.
2. Encourage government offices to locate above the ground floor to promote active ground floor uses in the **downtown**.
3. Coordinate the acquisition of land for the development of school facilities with School District 59.
4. Maintain a sufficient level of service for fire protection and upgrade facilities as required.
5. Consider developing and implementing a School Site Acquisition Charge for different types of residential development to contribute to the cost of developing new schools.
6. Investigate opportunities to develop community uses into new civic and institutional developments, such as daycares, recreation facilities and other similar community uses.
7. All new civic and institutional facilities are required to ensure waste reduction, recycling and reuse programs are in place to eliminate or delay the need for expanding existing waste landfills.
8. Encourage the development of joint use agreements with institutional and civic facilities to enable community uses of those facilities outside of office and school hours.
9. Permit community care facilities in both institutional and residential designated areas.
10. Support the continued inclusion of religious and related facilities in residential neighbourhoods.
11. Support permitting cultural centres and community centres within residential and commercial areas of the community.

9.7 Municipal Infrastructure

The municipal infrastructure designation is designed to accommodate the development of public utilities and related facilities required to provide necessary municipal services, such as water treatment and wastewater treatment facilities. The City of Dawson Creek's municipal infrastructure is shown on Schedules E - H.

Objective:

1. Expand municipal infrastructure where appropriate and financially feasible.
2. Ensure the security of the City's municipal infrastructure amid the continuous demands of industry on municipal infrastructure – particularly water and sanitary sewer.

Policies:

1. Continue to ensure that municipal infrastructure is buffered from adjacent land uses.
2. Continue to strategically enhance and expand the City's municipal water infrastructure.
3. Continue to develop the City's raw water infrastructure in order to continue providing high-quality water services to Dawson Creek.
4. Continue to address the deficiencies that exist in the City's sanitary sewer and storm infrastructure, as identified in master plans completed by the City.
5. Continue to improve the City's stormwater system in order to minimize the impacts of major storm events as a result of rainfall or rapid snow-melt.
6. Continue to undertake flood mitigation studies and initiatives and implement key recommendations from such documents to reduce the risk and severity of flooding to Dawson Creek property owners.



Image 15: Raw Water Reservoir

9.8 Parks and Recreation

The parks and recreation use designation is designed to accommodate the development of parks, trails, natural areas and recreation facilities that are heavily linked to the overall quality of life experienced in Dawson Creek.

Objective:

1. Ensure efficient use and balanced distribution of park and recreational uses across the City to meet residents' needs.
2. Expand the City's trail and green corridor network to provide safe, alternative recreational and community routes within and connecting neighbourhoods.

Policies:

1. Adopt the following park classification system:
 - a. **Community Park**
 - b. **Neighbourhood Park**
 - c. **Linear Park**
 - d. **Natural Area**
 - e. **Green Space**
 - f. **School Sites**
2. Continue to acquire land along the entire length of the Dawson Creek portion within the City boundary for the establishment of a fully intact **linear park** across the city.
3. Develop a trail system that connects existing parks and residential areas to the Dawson Creek **linear park** to provide active transportation access to the Dawson Creek **linear park** for all existing residential areas.
4. Ensure fair geographic distribution of neighbourhood, community, and City-wide park facilities. Park and recreational needs should be accessed through an analysis of population demographics, geographic location, walkability, existing parklands and recreation needs of the community.
5. Look to establish partnerships with recreational facilities owned and/or operated by other agencies including the School District; cooperate in funding and sharing of recreation facilities where feasible and appropriate. Use Joint agreements to define development, maintenance and operating arrangements for recreation facilities.
6. Ensure all new park acquisition maximizes opportunities for programming (events, interpretative, recreational services, etc.) and in particular, those programming aspects that are related to, or support, existing adjacent uses.

7. Consider opportunities to use existing City-owned property, including land trade or sale for equivalent purchase (no net loss) of parklands that expand existing park areas or create more logical boundaries in more logical locations.
8. Consider the establishment of an optimal tree cover target to be achieved post-development on public and private property and provide incentives to residents and developers to achieve that target.
9. Consider the creation of a preferred tree species list to encourage the planting of trees suitable to the northern climate.

9.8.1 Parkland Acquisition

Ensuring there is a sufficient supply of parkland to accommodate existing and future demands will be essential to continuing to maintain a good standard of outdoor and recreational opportunities for residents. The following is a strategy for the City to acquire parkland in the future.

Policies:

1. Acquire parkland through both the 5% parkland dedication for subdivision and cash-in-lieu options.
2. Do not accept environmentally sensitive and undevelopable hazardous areas as lands that can contribute to the required 5% parkland dedication for subdivision.
3. Consider opportunities to use the 5% parkland dedication for subdivision to obtain land corridors for the development of trails and **linear parks** that connect to the Dawson Creek **linear park**.
4. Ensure neighbourhood plans for new subdivisions generally locate larger parks centrally within the subdivision area and locate **neighbourhood parks** in an even peripheral manner around the subdivision area.

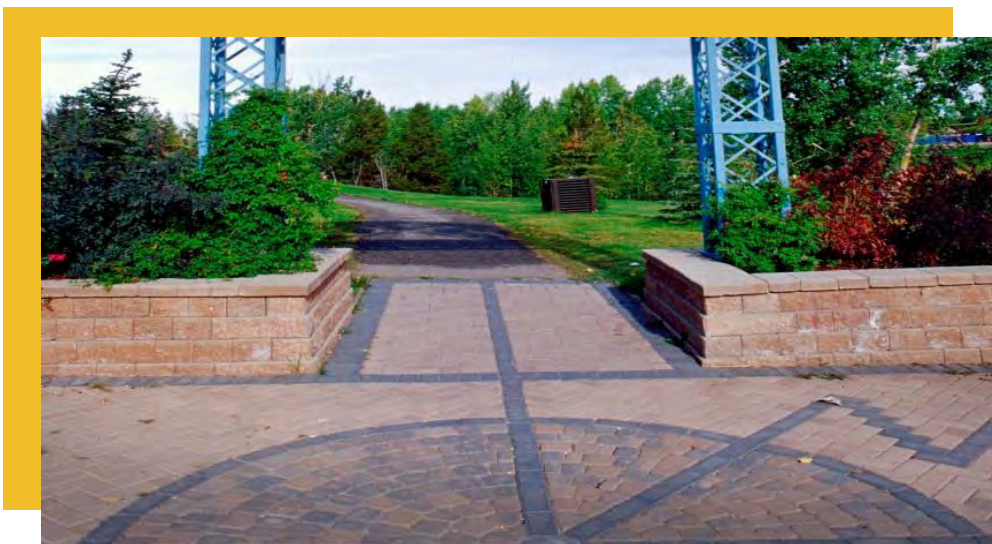


Image 16: Kin Park Entrance

5. Work with the development community and property owners to acquire undevelopable natural areas for the intent of establishing **natural parks**.
6. Consider developing a Park Development Cost Charge for the intent of acquiring parkland.
7. Ensure that all park acquisitions are accessible to all residents, and do not discriminate or exclude socially disadvantaged, the handicapped and elderly.

9.9 Development Reserve

Within the City of Dawson Creek there exist three larger tracts of land that are currently undeveloped but suitable for future development. These areas are located adjacent to the City's boundaries. An additional large undeveloped area also exists, but because it is a floodplain, it is not suitable for development. Collectively, the three developable areas have been identified as development reserves and are shown on Schedule B.

The development reserve land use designation is designed to ensure efficient and harmonious development and growth patterns and to ensure that any development in these areas is well-planned and thought out in advance of development activities occurring in these areas. Planning considerations include designing **complete neighbourhoods** that are connected to the remainder of the community and consider neighbouring development, both within the City of Dawson Creek and that located adjacent to the City in the Peace River Regional District. In addition, financial considerations must be made, by both the developer and the City with respect to on-site and off-site costs, as well as future operations and/or maintenance costs that will need to be borne. These developments will require collaboration with other relevant jurisdictions and agencies, including local governments and provincial agencies, particularly when areas of consideration border multiple jurisdictions.

Objective:

1. Ensure the orderly development of lands designated as Development Reserves in Dawson Creek, taking into consideration sound planning principles.
2. Ensure adequate reserve lands for future growth in Dawson Creek.
3. Require that a **neighbourhood concept plan** be undertaken for each development reserve area prior to any consideration being given for Official Community Plan amendments.

Policies:

1. Development reserve lands will be designated to the extent, uses and locations as shown on Schedule B.
2. Development reserve lands will not be considered for development unless the current land needs required to accommodate different land uses cannot be met by existing the City's existing vacant lands and be subject to approval for exclusion by the Agricultural Land Commission (if the land is currently designated as **Agricultural Land Reserve**).
3. In order to advance development, neighbourhood concept plans must be prepared for all development reserve areas.
4. Upon the adoption of a **neighbourhood concept plan** as an amendment to the City's Official Community Plan, those development reserve lands will be redesignated to other Official Community Plan designations.
5. Infrastructure, other service provisions, and development cost recovery tools must be considered in order to encourage the logical and sequential pattern of development within Dawson Creek.

9.9.1 Development Reserve One – East Dawson Creek

This development reserve area is located in northeast Dawson Creek, north of 96th Avenue and east of 6th Street. This development reserve area is bordered on two sides by the Peace River Regional District and is just under 32 ha in size. This land is currently vacant and is shown in the image below.

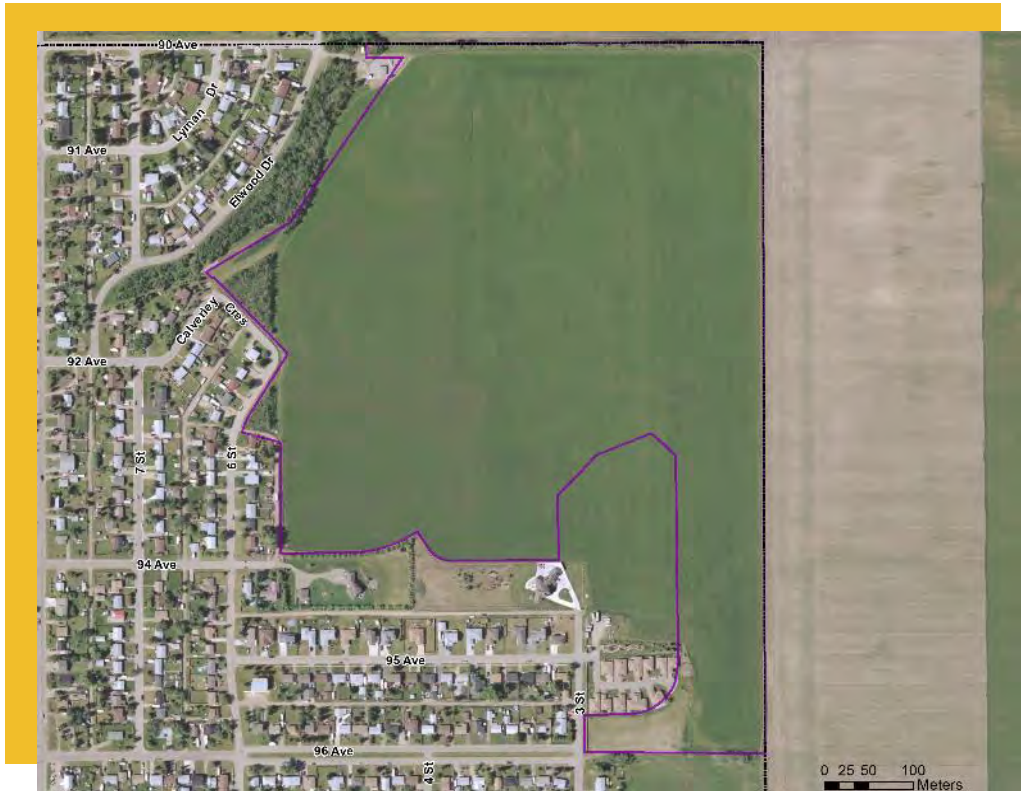


Image 17: Development Reserve One

It is intended that this land would accommodate a range of residential development, with higher density development closer to key collector roads, such as 8th Street and 96th Avenue, and lower density development towards the edges of the City. It is also anticipated that these lands would incorporate parks and open spaces areas, and preserve views out toward the northeast and across the city to the southwest. This area may also incorporate small-scale mixed-use village centre commercial development.

Objectives:

1. Ensure that development in this area occurs in a logical manner guided by sound planning principles.
2. Require the completion of a **neighbourhood concept plan** prior to any development occurring on the site.

Policies:

1. Require that any development concepts for this area follow the direction set forth in the **neighbourhood concept plan** as amended to this Official Community Plan and includes the following components:
 - a. Residential, consisting of a mix of densities and parcel sizes, encompassing low, medium and high density residential
 - b. Commercial, limited to small-scale mixed-use village centre commercial
 - c. Parks and open spaces
 - d. Landscaping
 - e. Supports multi-modal transportation opportunities, with a special focus on walkability, cycling and pedestrian linkages
2. Require that any development concepts for this area follow any **neighbourhood concept plans** that have been prepared.
3. Require commercial and park components to incorporate public seating, pedestrian-scaled lighting, **Crime Prevention Through Environmental Design** and elements that enhance the winter experience.

9.9.2 Development Reserve Two – Woodlands

This development reserve area is located in southwest Dawson Creek, south of 116th Avenue and west of 13th Street. This development reserve area is bordered on two sides by the Peace River Regional District and is just over 53 ha in size. This land is currently vacant and is shown in the image below.

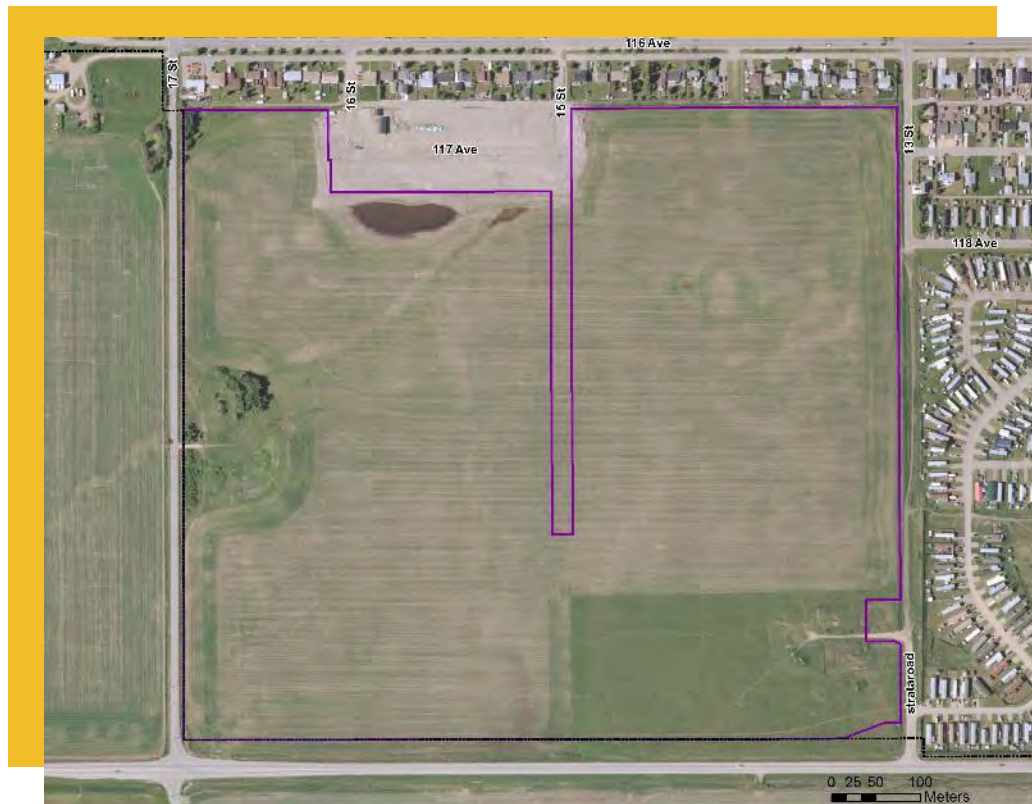


Image 18: Development Reserve Two

It is intended that this land would accommodate a range of residential and commercial development. It is anticipated that the southern portion of this development reserve area would accommodate highway commercial development along the Dangerous Goods Route. Moving northward across this development reserve, development would transition to medium density residential development followed by low-density residential development. It is also anticipated that these lands would incorporate parks and open spaces, and preserve the views across the City to the northeast and to the southwest.

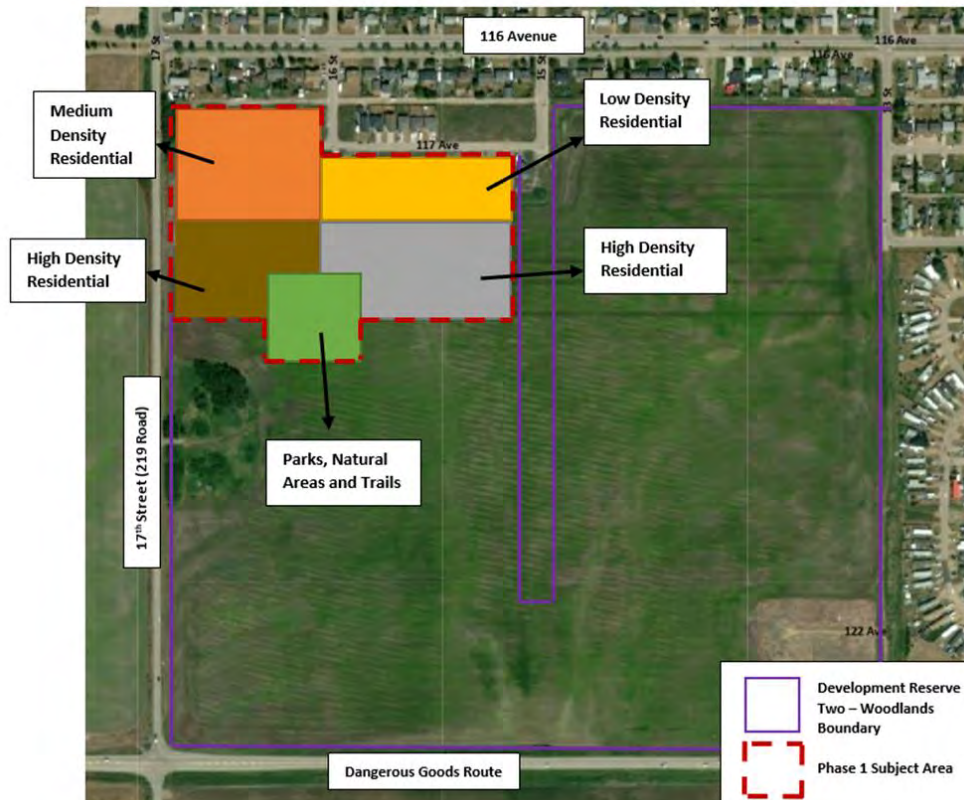


Image 18.1: Development Reserve Two Phase 1

Phase 1 identified in Image 18.1 includes Low, Medium and High Density Residential as well as Park, Natural Areas and Trails.

Objectives:

1. Ensure that development in this area occurs in a logical manner guided by sound planning principles.
2. Require the completion of a **neighbourhood concept plan** prior to any development occurring on the site.
3. Ensure that any development in this area is complementary to the existing development around this area, particularly to the north and east.

Policies:

1. Require that any development concepts for this area follow the direction set forth in the **neighbourhood concept plan** as amended to this Official Community Plan and includes the following components:
 - a. Residential, consisting of a mix of densities and parcel sizes, encompassing low, medium and high density residential
 - b. Commercial, consisting of primarily highway commercial development
 - c. Parks and open spaces

- d. Landscaping
 - e. Supports multi-modal transportation opportunities, with a special focus on walkability, cycling and pedestrian linkages
2. Encourage commercial development to locate along the north side of the Dangerous Goods Route.
 3. Encourage higher density forms of residential development to buffer lower density development from commercial development.
 4. Encourage higher density forms of residential development to locate close to key collector roads.
 5. Require commercial and park components to incorporate public seating, pedestrian-scaled lighting, **Crime Prevention Through Environmental Design** and elements that enhance the winter experience.

9.9.3 Development Reserve Three – 17th Street

This development reserve area is located in southwest Dawson Creek, north of 116th Avenue and west of 17th Street. This development reserve area is bordered on two sides by the Peace River Regional District and is just over 32 ha in size. This land is currently vacant and is shown in the image below.

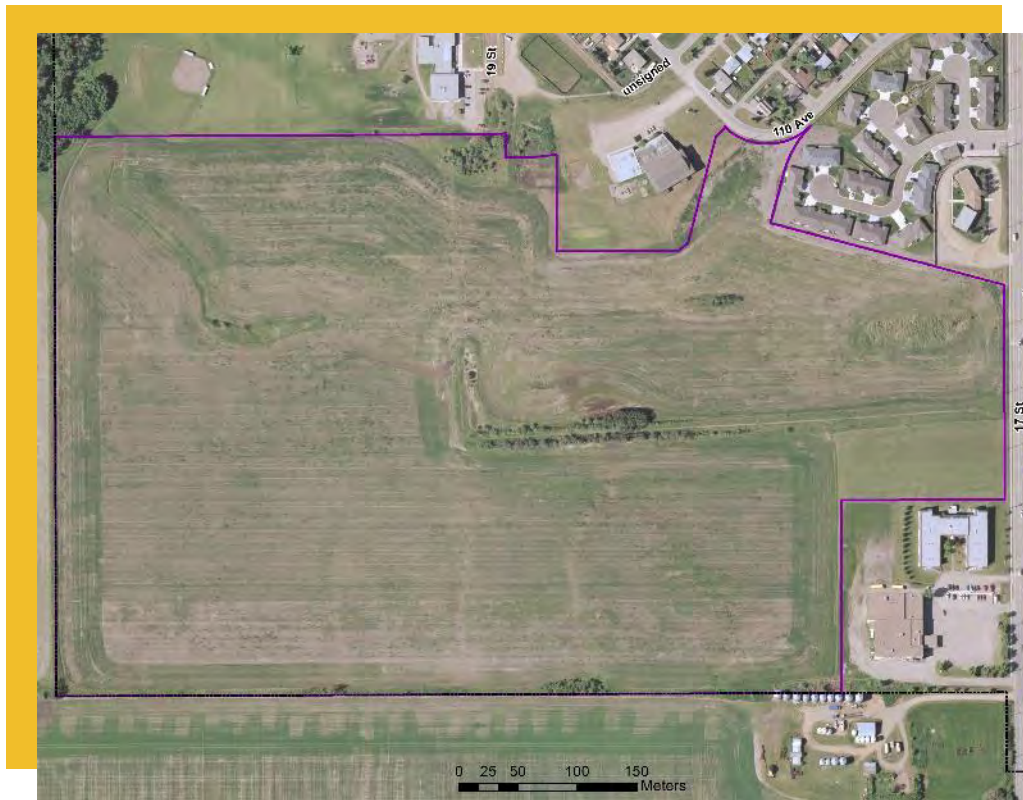


Image 19: Development Reserve Three

It is intended that this land would accommodate a mix of primarily medium and high-density residential development. Some small-scale mixed-use village centre commercial development may occur. It is also anticipated that these lands would incorporate parks and open spaces, and preserve the views across the City to the northeast and to the southwest.

Objectives:

1. Ensure that development in this area occurs in a logical manner guided by sound planning principles.
2. Require the completion of a **neighbourhood concept plan** prior to any development occurring on the site.
3. Ensure that any development in this area is complementary to the existing development around this area, particularly to the north and east.

Policies:

1. Require that any development concepts for this area follow the direction set forth in the **neighbourhood concept plan** as amended to this Official Community Plan and includes the following components:
 - a. Residential, consisting of a mix of densities and parcel sizes, encompassing low, medium and high density residential
 - b. Commercial, limited to small-scale **mixed-use** village centre commercial
 - c. Parks and open spaces
 - d. Landscaping
 - e. Supports multi-modal transportation opportunities, with a special focus on walkability, cycling and pedestrian linkages
2. Encourage higher density forms of residential development to locate close to key collector roads.
3. Require commercial and park components to incorporate public seating, pedestrian-scaled lighting, **Crime Prevention Through Environmental Design** and elements that enhance the winter experience.

10. Development Permit Areas

A municipality uses **development permit areas** to further regulate specific aspects of development. This is undertaken through legislation set out in the *Local Government Act*. **Development permit areas** can be designated for the following reasons:

- a. Protection of the natural environment, its ecosystems and biological diversity
- b. Protection of development from hazardous conditions
- c. Protection of farming
- d. Revitalization of an area in which commercial use is permitted
- e. Establishment of objectives for the form and character of intensive residential development
- f. Establishment of objectives for the form and character of commercial, industrial or multiple family residential development
- g. Establishment of objectives to promote energy conservation
- h. Establishment of objectives to promote water conservation
- i. Establishment of objectives to promote the reduction of greenhouse gas emissions

The City of Dawson Creek has identified a number of **development permit areas** that it feels are important to apply additional development guidelines to. Specific guidelines for the implementation of **development permit areas** can be found in the City of Dawson Creek Zoning Bylaw.

The *Local Government Act* states that if a property is situated within an identified **development permit area**, the property owner is required to obtain a development permit prior to the subdivision of land, construction of, addition to or alteration of a building or structure on the land, or the alteration of land within a designated **development permit area**. In some situations, exemption provisions may apply.

10.1 Natural Hazards Development Permit Area

10.1.1 Justification

Pursuant to the *Local Government Act*, the purpose of this designation is to establish objectives for the following:

- Protection of the natural environment, its ecosystems and biological diversity
- Protection of development from hazardous conditions
- Protection of farming

The Natural Hazards **Development Permit Area** encompasses a number of areas within the City of Dawson Creek that have the potential to constrain or have impacts on development. These constraints are shown on Schedule I. These include areas primarily prone to flooding, unstable or eroding lands extending along ravines, bluffs, rock faces and shorelines influenced by water. Over the years, the City of Dawson Creek has experienced a number of extreme flooding events which has resulted in significant infrastructure and property damage within the City.

While development could occur within this **development permit area**, it would likely require extensive protective measures in order to reduce negative impacts as a result of the natural hazards that these areas are prone to. The City of Dawson Creek envisions that the lands within this **development permit area** will continue to largely be undeveloped, in order to protect both the properties and the natural environment.

The objectives of this designation are to:

- Ensure that these areas are generally protected from development activities
- Regulate development on lands of natural hazard in order to avoid property loss and maintain bank stability
- Retain the natural features of these areas
- Ensure that, where necessary, the design of development accommodates measures to protect the development from any natural hazards that may occur

These objectives provide the basis for a set of design guidelines to be applied to all development within the Natural Hazards **Development Permit Area**, as illustrated on the **Development Permit Area** map (Schedule J).

10.2 Downtown Core Development Permit Area

10.2.1 Justification

Pursuant to the *Local Government Act*, the purpose of this designation is to establish objectives for the following:

- Revitalization of an area in which commercial use is permitted
- Form and character of commercial, industrial or multiple family residential development

The **Downtown Core Development Permit Area** is located around 102nd Avenue between 17th Street and 6th Street. This area is the core of Dawson Creek and the hub of the community. Many events occur in the **downtown** core and the City is working hard to refresh and revitalize the **downtown**. It is envisioned that this area will continue to be developed and redeveloped as appropriate in order to provide a range of small-scale commercial, community facilities such as public plazas and spaces, and housing options in an area that encourages a pedestrian-friendly and walkable environment.

The objectives of this designation are to:

- Contribute to the **downtown's** unique identity and sense of place
- Create a vibrant, compact, walkable, accessible **downtown** with high-quality design and construction
- Ensure that developments are compatible in scale, form and character with the existing community and consistent with the desired future direction of **downtown**
- Ensure that, where necessary, the design of development creates a suitable transition between adjacent different land uses or residential densities

These objectives provide the basis for a set of design guidelines to be applied to all development within the **Downtown Mixed-Use** land use designation. The **Downtown Development Permit Area** is illustrated on the **Development Permit Area** map (Schedule J).

10.3 Commercial Development Permit Area

10.3.1 Justification

Pursuant to the *Local Government Act*, the purpose of this designation is to establish objectives for the following:

- Revitalization of an area in which commercial use is permitted
- Form and character of commercial, industrial or multiple family residential development

The Commercial **Development Permit Area** is located throughout the City of Dawson Creek and encompasses all commercial land uses within the City. This **development permit area** is intended to ensure that commercial development is undertaken in a manner that results in high-quality, visually appealing developments that encourage the establishment of new business and retention of existing businesses, local shopping opportunities and provides for a safe, accessible and attractive environment for residents and visitors.

The objectives of this designation are to:

- Ensure that all new commercial developments meet a high standard of visual quality and a high standard of construction quality
- Improve the appearance of commercial properties in Dawson Creek
- Ensure that safe and efficient access is provided

These objectives provide the basis for a set of design guidelines to be applied to all development within the General and Highway Commercial land use designations. The Commercial **Development Permit Area** is illustrated on the **Development Permit Area** map (Schedule J).

10.4 Multi-Family Residential Development Permit Area

10.4.1 Justification

Pursuant to the *Local Government Act*, the purpose of this designation is to establish objectives for the following:

- Form and character of intensive residential development
- Form and character of commercial, industrial or multiple family residential development

Multi-family residential developments can have significant positive impacts on the surrounding area, including aesthetics, traffic generation and creating neighbourhoods. Applying design guidelines can enhance an area with respect to aesthetics, crime prevention, transportation and mobility, passive and active recreational opportunities and thereby result in a higher quality of life for residents in multi-family residential developments.

The objectives of this **development permit area** are to:

- Emphasize building and open space designs in a manner that enhances pedestrian mobility, accessibility, amenities and safety
- Ensure that multi-family developments are attractive and compatible with the surrounding area through siting, design and exterior finishing
- Ensure that, where necessary, the design of development creates a suitable transition between adjacent different land uses or residential densities

These objectives provide the basis for a set of design guidelines to be applied to all development within the Medium and High-Density Residential land use designations. The Multi-Family **Development Permit Area** is shown on the **Development Permit Area** map (Schedule J).

10.5 Intensive Residential Development Permit Area

10.5.1 Justification

Pursuant to the *Local Government Act*, the purpose of this designation is to establish objectives for the following:

- Revitalization of an area in which commercial use is permitted
- Form and character of intensive residential development
- Form and character of commercial, industrial or multiple family residential development

Intensive residential developments can have significant positive impacts, particularly in the **downtown** of a community, where they are able to bring new vitality to an area by the presence of residents at any time of day. Applying design guidelines on intensive residential developments enables an area to be enhanced visually and with respect to transportation and mobility options, the creation of unique residential development options, passive and active recreational opportunities and the ability to live, work and recreate within the centre of a community. All of these factors help increase the quality of life for residents.

The objectives of this **development permit area** are to:

- Provide for opportunities to create innovative housing options for residents wishing to live in **downtown** Dawson Creek
- Ensure that intensive residential developments are attractive and compatible with the surrounding area through siting, design and exterior finishing
- Create a vibrant, compact, walkable, accessible **downtown** with high-quality design and construction
- Emphasize building and open space designs in a manner that enhances pedestrian mobility, accessibility, amenities and safety
- Ensure that, where necessary, the design of development creates a suitable transition between adjacent different land uses or residential densities

These objectives provide the basis for a set of design guidelines to be applied to all development within the **Downtown** Residential land use designation. The Intensive Residential **Development Permit Area** is shown on the **Development Permit Area** map (Schedule J).

10.6 Exemptions to Development Permits

1. Exemptions to development permits are listed in Section 1.3 of the *Development Permit Area Guidelines*, which form Appendix A of Zoning Bylaw No. 4450, 2020.

PART III: Implementation

11. Implementation

This Official Community Plan provides a long-term vision for the City of Dawson Creek and goals and policy guidance to achieve this vision. For the Official Community Plan to be effective, it is important that municipal decision-making and policy implementation are consistent with the objectives and commitments laid out in this Official Community Plan. This approach provides direction and assurance to the City's residents, partners and stakeholders alike.

While this Official Community Plan has a long-term horizon looking towards the year 2030 and beyond, it is also important that the Official Community Plan is considered a "living document". Thus, the Official Community Plan will be amended from time to time rather than a static document. That being said, caution should be exercised in ensuring that any amendments made to the Official Community Plan are in the best interests of the community. As such, it is recognized that the OCP will be amended from time to time as the community evolves, needs change, and new opportunities emerge. The key will be for Official Community Plan amendments to benefit the community as a whole.

Best practices suggest that an Official Community Plan should be reviewed every 5 to 10 years, depending on changing circumstances. In some instances, a review closer to 5 years will be beneficial, other times a review can be delayed. This is a decision that the City of Dawson Creek will need to make as circumstances dictate. With each review and update, public involvement will be essential in keeping the Official Community Plan relevant and alive.

This section identifies some of the key methods in which the OCP will be implemented. None of this section's contents are meant to be obligatory or all-encompassing. The contents are intended to be illustrative and provide tangible paths for the different individuals and organizations to follow, whose involvement will be required in various ways to see the implementation of this plan.

There are a number of strategies that can be used to implement this Official Community Plan including:

- Ensuring consistency across municipal documents
- Zoning Bylaw
- Fiscal program
- Municipal leadership
- Public awareness, involvement and volunteerism

Ensuring Consistency Across Municipal Documents

The Local Government Act states that all bylaws enacted and works undertaken by the City of Dawson Creek must be consistent with the provisions set out in the Official Community Plan. Municipal documents that this applies to include zoning, subdivision and development servicing, and development cost charge bylaws. In addition, other municipal plans, strategies and programs must be consistent with the direction set out in this Official Community Plan.

Any City of Dawson Creek bylaw, plan, policy or strategy that is prepared subsequent to the adoption of this Official Community Plan must align and be consistent with the direction set out herein. In addition, the City will need to review its bylaws, plans, strategies and programs to ensure that they are consistent with the Official Community Plan. In some cases, minor adjustments may be required, in other cases, a more thorough review and update may be required.

Zoning Bylaw

The Zoning Bylaw is one of the primary tools used to implement the plans and policies in an Official Community Plan. Amendments to the Zoning Bylaw will be necessary in order to ensure it remains consistent with the directives set forth in this Official Community Plan with respect to land uses, densities and building heights. The City of Dawson Creek is planning to review and update its Zoning Bylaw upon the adoption of the Official Community Plan. This review is necessary as the City has identified a number of areas of improvement for the Zoning Bylaw and it must also ensure the Zoning Bylaw is compatible and consistent with this Official Community Plan.

Fiscal Program

Many of the policies contained within the Official Community Plan rely on the expenditure of City funds for implementation. The City's financial plans and annual reporting must reflect the policies of the Official Community Plan. Ensuring that the City's Official Community Plan considers and reflects the fiscal reality of the City and that the City's fiscal program is in alignment with the Official Community Plan will help implement the Official Community Plan in a fiscally responsible and sustainable manner.

Municipal Leadership

The City can demonstrate leadership by leading through example. The actions of the City can benefit from assessing current practices and evaluating if any practices are counterproductive to the achievement of the community's vision as described in this Official Community Plan. Reports to Council should include a section that describes their relation and relevance to the Official Community Plan. Furthermore, the City could highlight in the Annual Report the various Official Community Plan initiatives that the City has undertaken each year; this will increase the recognition of this important policy document and communicate the City's actions towards implementing it.

Public Awareness, Involvement and Volunteerism

The development of this Official Community Plan required significant community involvement in the summer of 2017, and the effective implementation of this Plan will also require community involvement. In addition, the successful implementation of the Official Community Plan will require building public awareness and understanding of the objectives and policies within the plan. The City of Dawson Creek will be proactive in expanding and enhancing its communications and public engagement practices in the implementation of this Official Community Plan.

While the City of Dawson Creek has a key role in the effective implementation of this Official Community Plan, public involvement is also critical to ensuring maximum benefits are achieved by the community, while minimizing potential negative impacts. The individual contributions of community members will have a significant impact on the City's successful implementation of this Official Community Plan. Residents, business owners, employees, property owners, developers and others all play a role through their individual and collective actions. This will occur at multiple levels of community life including individual actions, participation at public events and developments that meet public objectives. Volunteerism is woven throughout these levels and the City will need to utilize its strong volunteer base and capitalize on its growing efforts. The coordinated results of these groups will enable the City to successfully implement its Official Community Plan.

12. Definitions

Affordable Housing means housing that does not cost more than 30% of the median household income.

Agricultural Land Reserve is a collection of land in BC where agriculture is recognized as the priority use and non-agricultural uses are controlled. In British Columbia, the Agricultural Land Reserve covers approximately 47,000 km² and includes both private and public lands. The reserve is administered by the Agricultural Land Commission.

Apiculture means the raising and caring of bees.

Brownfield/Brownfields means abandoned, vacant or underutilized property where past actions have resulted in the actual or perceived contamination of the property.

Community Park means a park that serves several neighbourhoods, sometimes the entire city and beyond. Community parks typically include a range of amenities, including sports fields, courts, play areas, walkways or trails and parking lots. Community parks draw people who specifically travel to spend time “in the park” for activities such as picnics, special events, sports and recreation and help to form the visual, physical and social focus of the community.

Complete Neighbourhood means a neighbourhood where one has safe and convenient access to the goods and services needed in daily life. Complete neighbourhoods include a variety of housing options, grocery stores and other commercial services, schools, parks, open spaces and recreational facilities, affordable active transportation options and civic amenities. An important element of a complete neighbourhood is that it is built at a pedestrian scale and meets the needs of people of all ages and abilities.

Crime Prevention Through Environmental Design means a multi-disciplinary approach to discouraging criminal behaviour through environmental design. Crime Prevention Through Environmental Design relies on the ability to influence decisions that precede criminal activities by affecting the built, social and administrative environments.

Development Permit Area means a specific area with a set of development regulations designed to achieve specific purposes as set out in the Local Government Act. Development Permit Area guidelines are a flexible tool that provide Council with the ability to exercise discretion in granting or refusing a development permit on a case by case basis. Any proposed building and subdivision within a Development Permit Area requires a development permit.

Downtown means the area predominantly located between 13th Street and 8th Street, south of the Alaska Highway to Kin Park.

Employment Lands means lands which accommodate business clusters and economic activities including, but not limited to, manufacturing, warehousing, offices and associated retail and ancillary facilities. Employment lands may also include commercial or industrial parks.

Green corridor means urban right-of-ways such as streets or alleys that, through a variety of design and operational treatments, give priority to multi-modal transportation, open and green spaces and stormwater management. Design and operational treatments may include street trees, planters, landscaped islands and street furniture as a means of improving the pedestrian experience, slowing vehicle traffic and managing stormwater.

Green Space means publicly-owned parkland that is generally undeveloped and does not support a significant amount of use. Green spaces may include small grassed and/or treed properties or boulevards that do not have trails or recreation amenities. These areas contribute to the visual character of the community.

Greenfield Development means the development of large parcels or multiple lots that are undeveloped land.

Gross Density means a measurement unit that is typically applied to residential areas. It is often measured in the number of residential dwelling units per hectare. The calculation for gross density includes right-of-ways, recreational, civic, commercial and other non-residential land uses.

Infill means the planned development of empty lots, underused or rundown buildings and other available space within a developed area for such uses as commercial buildings and housing.

Linear Park means a park that is long or linear in nature and may connect to other similar parks. When two or more linear parks are connected, they are called greenways. Often, a trail system is incorporated into a linear park.

Mixed Use means development that is characterized by two or more different land uses. Typically, mixed-use consists of commercial development on the main or ground floor, with residential development above the commercial uses. Mixed-use developments support a more pedestrian-friendly environment.

Natural Park means a park that is dominated by natural features such as forests and watercourses. The recreational use of a natural park is usually limited to trail uses and nature appreciation. Natural parks will often have facilities such as parking lots, signs, trails, gathering areas and washrooms.

Neighbourhood Concept Plan means a secondary land use plan that supplements the Official Community Plan and is amended to it. Neighbourhood concept plans are created to provide neighbourhood-level land use planning for key areas within Dawson Creek, including servicing, layout, built-out, and ultimate development of each area.

Neighbourhood Park means a park that is generally designed to serve a catchment area similar to that of an elementary school. Neighbourhood parks typically include play equipment, pathways, open grass and seating, and are usually accessed by walking. Neighbourhood parks are intended to form the visual, physical and social focus of the neighbourhood.

School Sites means the green space portion of public school sites. School sites have parklike values because many school sites are used as de facto parks outside of school hours.

Streetscaping means the natural and built fabric of streets, the design quality of streets and their visual effect. This concept recognizes that a street is a public place where people are able to engage in various activities.

Streetscapes and their visual experience largely influence public places where people interact and ultimately help define a community's aesthetic quality, economic activity, health and sustainability.

Up-zoning means the practice of changing the zoning in an area typically from residential to increased commercial use. Up-zoning allows for greater density in an area, which may result in other outcomes, such as increased traffic.

Urban Economic Zone means First Nations reserve lands located within municipal boundaries. Urban economic zones would generally comprise land purchased through funds made available to First Nations from specific claim and Treaty Land Entitlement settlements.

Winter City means an approach to land, policy and community development that recognizes the importance of and incorporates the social, physical and economic elements of winter planning into the planning and implementation of community projects, initiatives and priorities.

Appendix A

Sunset Ridge-Harvest View Neighbourhood Plan

SUNSET RIDGE - HARVEST VIEW

SUSTAINABLE NEIGHBOURHOOD PLAN



FINAL DRAFT



January 2009

SUNSET RIDGE - HARVEST VIEW

SUSTAINABLE NEIGHBOURHOOD PLAN

This document outlines Dawson Creek's first official sustainable neighbourhood plan to be adopted within the Official Community Plan as a bylaw amendment.

This sustainable neighbourhood plan marks a shift in planning for the City. Until now, the form and character of existing and proposed land use and servicing requirements in the City of Dawson Creek (at the neighbourhood scale) were made by policy framework set at a City-wide scale in the Official Community Plan Bylaw No. 3550.

PLAN FORMAT

This document is organized as follows.

Overview of Neighbourhood Planning:

- A definition of a neighbourhood plan, benefits to neighbourhood planning and its relationship to other plans and City-wide initiatives, in particular, its significance for and within Dawson Creek's move towards a sustainable city.

Part A - Land Use:

- The vision and land use planning concept.

Part B- Development Policies:

- Development policies for circulation, infrastructure services, parks, community, culture and phasing of development.

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OVERVIEW

DEFINITION OF A NEIGHBOURHOOD PLAN

A neighbourhood plan is a statutory planning document, adopted by council as policy or an amendment within the Official Community Plan (OCP).¹

The neighbourhood plan is different than an OCP. It outlines a vision for a neighbourhood with greater detail on -

- land use and land use policies
- circulation or network
- parks and open space
- infrastructure and servicing

In turn, this informs what happens in the planning area with respect to -

- zoning and rezoning
- development permit areas & guidelines
- subdivision and development

A neighbourhood plan is a statutory planning document, adopted by council as policy or as an amendment within the Official Community Plan (OCP).

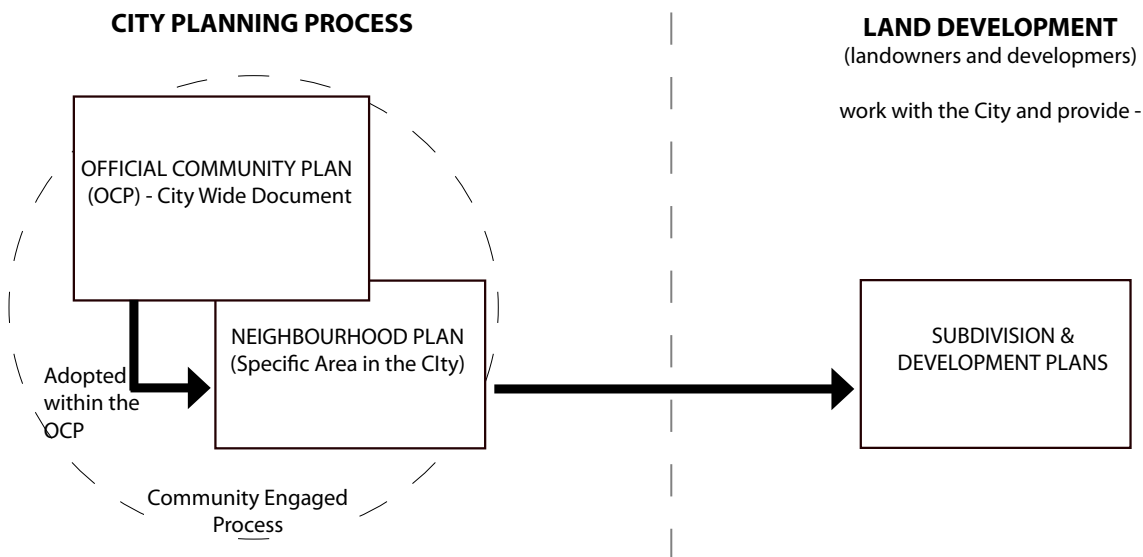


Figure 1. Neighbourhood plans are the responsibility of the City and involve community engagement and resident support. They are not a plan for subdivision and development.

¹ The Official Community Plan (OCP) is established under Section 875, Part 26 - Planning and Land Use Management of the Local Government Act of BC.

Overview



Photo: Peace Photographics

Neighbourhood planning provides the opportunity to ask residents how they envision the City's future development to occur.

BENEFITS OF NEIGHBOURHOOD PLANNING

A neighbourhood plan provides the policy framework to facilitate and coordinate development. It provides residents and City Council with a degree of certainty about the vision, form and character in the planning area regardless of land ownership or when the development occurs.

In addition to defining major land use patterns, transportation corridors, and preliminary infrastructure servicing, this neighbourhood plan also provides the opportunity to -

- set a precedent for engaging citizens in neighbourhood planning
- showcase the City's move towards sustainability
- establish guidelines and a policy context for subsequent neighbourhood planning
- provide a framework within which adjacent landowners can cooperatively work towards the implementation of this neighbourhood plan
- ensure and plan a major growth area in the City

PLANNING CONTEXT AND PRINCIPALS

The 124 hectare (306 acre) planning area is located at the northern edge and municipal boundary of the City as outlined in **Figure 2 – Planning Area and Land Use Allocation.**

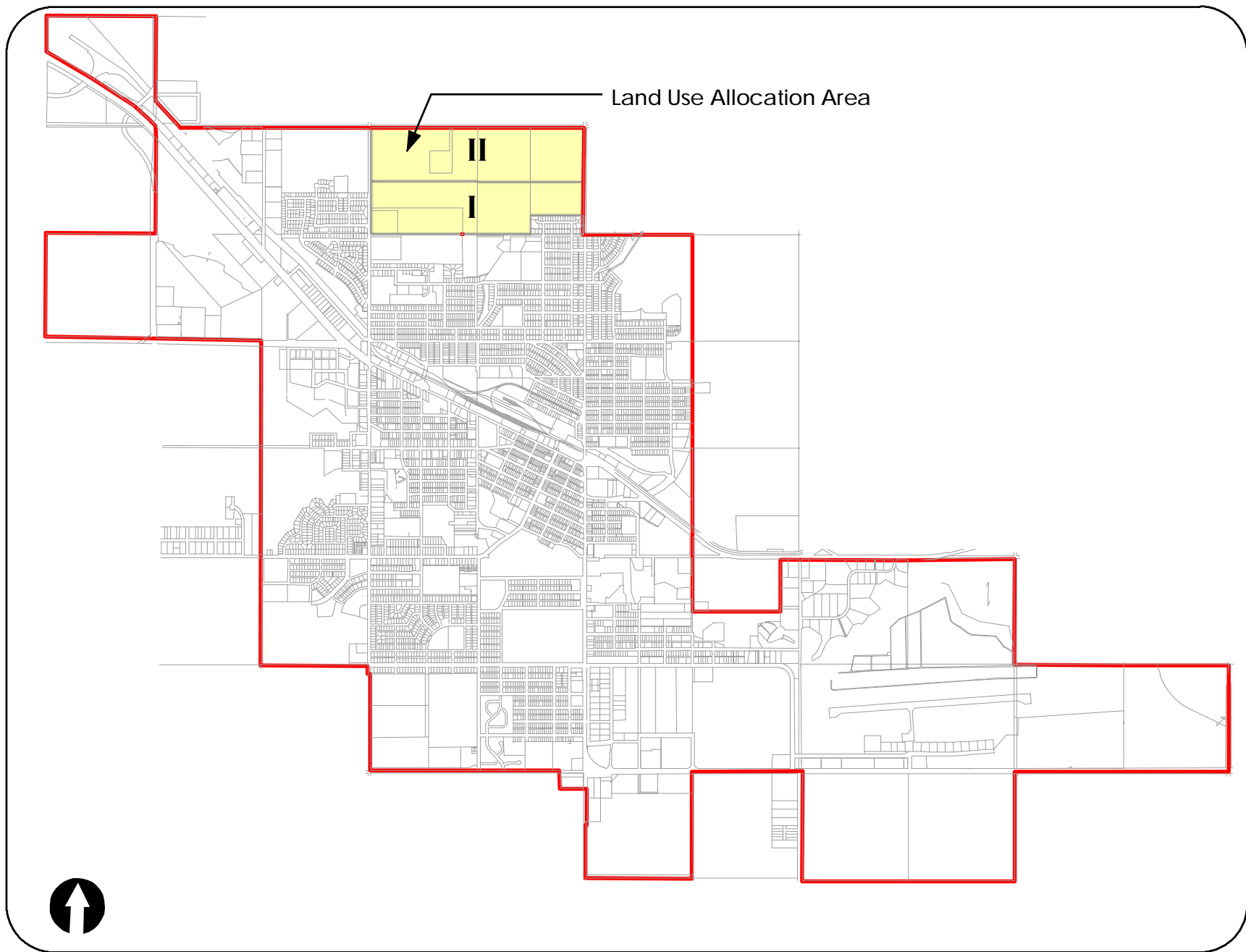


Figure 2. Planning Area and Land Use Allocation - modified from South Peace Comprehensive Development Plan.

Overview



Neighbourhood planning is guided by Dawson Creek's overarching Sustainability Planning Initiative.

South Peace Comprehensive Plan

The planning area is one of six areas in the "Land Use Allocation Plan" contained in the South Peace Comprehensive Plan that is designated for residential development. The area is ranked as "more favourable" for the feasibility of servicing, and is given priority – along with one other site – for development phasing in Dawson Creek's Official Community Plan (OCP).

Dawson Creek Sustainable Planning Initiative

The planning concept for Sunset Ridge-Harvest View area is rooted within Dawson Creek's larger Sustainable Planning Initiative. The goal of this City-wide initiative is be a visionary City that works together for innovative social, cultural, economic and environmental vitality.

The overall design and policies for the Sunset Ridge-Harvest View neighbourhood are guided by this planning initiative and its following goals, which were developed as a part of a separate, public visioning consultation process.

City Wide Sustainability Goals

- 1) Create a compact complete community
- 2) Develop an environmentally-friendly, community-oriented transportation system
- 3) Increase energy efficiency and the use of renewable energy
- 4) Use water responsibly and efficiently to ensure a clean and sustainable supply
- 5) Enhance green space to support both community and ecological uses
- 6) Encourage vibrant arts and culture
- 7) Foster social well-being through health, housing and education

- 8) Encourage participation in civic issues through an open and accountable municipal government
- 9) Foster robust economic development that supports the community's goals
- 10) Increase reuse of resources and decrease waste

IMPLEMENTATION OF THE NEIGHBOURHOOD PLAN

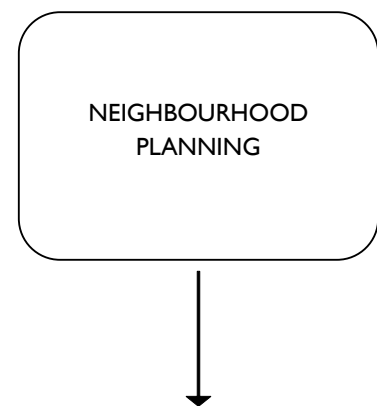
The neighbourhood plan will be adopted by council as an amendment within the Official Community Plan. The details of the plan will be implemented through a range of statutory and non-statutory mechanisms available to the municipality, namely the planning & engineering approval processes. Decisions with respect to these approvals should conform to the planning goals, policies and guidelines contained in this Plan and are consistent with the Official Community Plan (OCP).

→ Land Use Bylaw

The land use bylaw is the primary tool available for the implementation of statutory plan policy. The land use bylaw establishes a system of land use districts, related development regulations and standards for all land in the City. New provisions to the land use bylaw may be required to incorporate innovative development.

→ Subdivision Approval

Subdivision approval is a legal process involving the creation of individual titled lots and rights of way from large parcels of land. The Local Government Act



Implementation:

Rezoning & Land Use Designation

Land Use Bylaws

Sub-Division Approvals

Overview



and the Subdivision and Development Bylaws provide the legislative authority for subdivision approval. Application for subdivision will require, among other things, a subdivision development plan covering the particular title that is being subdivided. The plan should identify lot dimensions, development setback, registered rights of way, easements as well as other requirements deemed appropriate by the approval authority.

→ Service Agreements

Service agreements are a contractual agreement entered into between landowners and/or the City and landowners/developers.

Service agreements ensure that –

- infrastructure installed to serve a proposed development is constructed to municipal standards and;
- a fair arrangement is negotiated for all land owners covered by the neighbourhood plan.



Service agreements require on site and off site costs associated with servicing new developments with new roadways and infrastructure to be borne to the developer through development cost charges and levies. These agreements are required as a condition of most subdivision approvals in accordance with the Local Government Act.

Service Agreements for Sunset Ridge – Harvest View Neighbourhood

For the Sunset Ridge – Harvest View Neighbourhood, the City will require servicing plans as part of the

subdivision and development plan.

Servicing plans should address:

- sanitary,
- storm water, and
- potable water supply servicing requirements.

Detailed engineering design drawings and accompanying specifications that confirm the design of the infrastructure required to service each specific stage of development. These drawings must comply with the neighbourhood plan contained herein and municipal standards, unless otherwise agreed upon by the City (as may pertain to the development or piloting of new standards).

In addition, the City will require a separate legal agreement (in perpetuity) be established between landowners covered by the neighbourhood plan. The purpose of this agreement will determine the fair distribution of infrastructure costs and amenities required to facilitate the neighbourhood plan development and secure designated land areas for stormwater drainage. This may be in the form of payment to the landowner(s) of which own the land areas that are designated for stormwater infrastructure and drainage. In exchange, the land owner of designated drainage areas must register the land area to municipal ownership and management for dual benefit of landowners. The responsibility of preparing this agreement will be that of the landowners with guidance offered by the City, if required. This agreement should take into account the land value (developable land), cost of infrastructure and legal costs.

Additionally, landowners will be required to secure necessary covenants on the land title for those land areas designated for park dedication and agricultural land buffer.



Servicing Plans Address:

- *sanitary*
- *stormwater*
- *water*

Overview



Agricultural Land Reserve

The neighbourhood planning area is currently designated as Agricultural Land Reserve (ALR) and is therefore governed by the Agricultural Land Commission Act (ALCA). Under Section 882 (3) (c) of this Act, a local government must refer the neighbourhood plan (as a part of the official community plan) to the Commission for comment, if the plan applies to land in an ALR established under the ALCA.

The City of Dawson Creek has notified the Commission of plan preparation early in the process. Consultation and referral of early plan drafts may be followed by meetings, as necessary, between the Commission and Board or Council if necessary. The plan will be referred to the ALC immediately following first reading. The Commission will then advise on whether the plan is consistent with the Act, regulations and orders of the Commission, and may or may not require specific changes to make it consistent.

PART A - LAND USE PLAN

1.0 Land Use Plan

PLANNING AREA

Sunset Ridge-Harvest View Neighbourhood is located at the northern edge and municipal boundary of the City. The 124 hectare (306 acre) site is bounded by three major roads: Imperial Road to the north; 17th Street to the west; and 8th Street to the east. The first two roads also represent a point of division between agricultural and residential land uses. See ***Figure 3 - Planning Area & Context.***

UNIQUE SITE OPPORTUNITIES

The following unique site aspects were identified by residents early in the planning and design process. As a result, these became opportunities for the neighbourhood planning vision.

Solar Aspect & Views



The neighbourhood is situated at a topographic high point and has some of the best southern views into and across the City. With its southern aspect, the area receives a greater amount of sunlight year round than most other areas in the City, which provides opportunity for active and passive solar heating. As such, homes located here should be solar ready.

Land Use Plan

Slope and Drainage



The site is well drained. Due to the south sloping terrain, rainwater drains to the south east corner and natural ravine area off-site. This has caused some incidents of flooding in adjacent residential areas. Development on this site must ensure remediation of flooding issues and restoration of the natural drainage system.

Cultivated Land

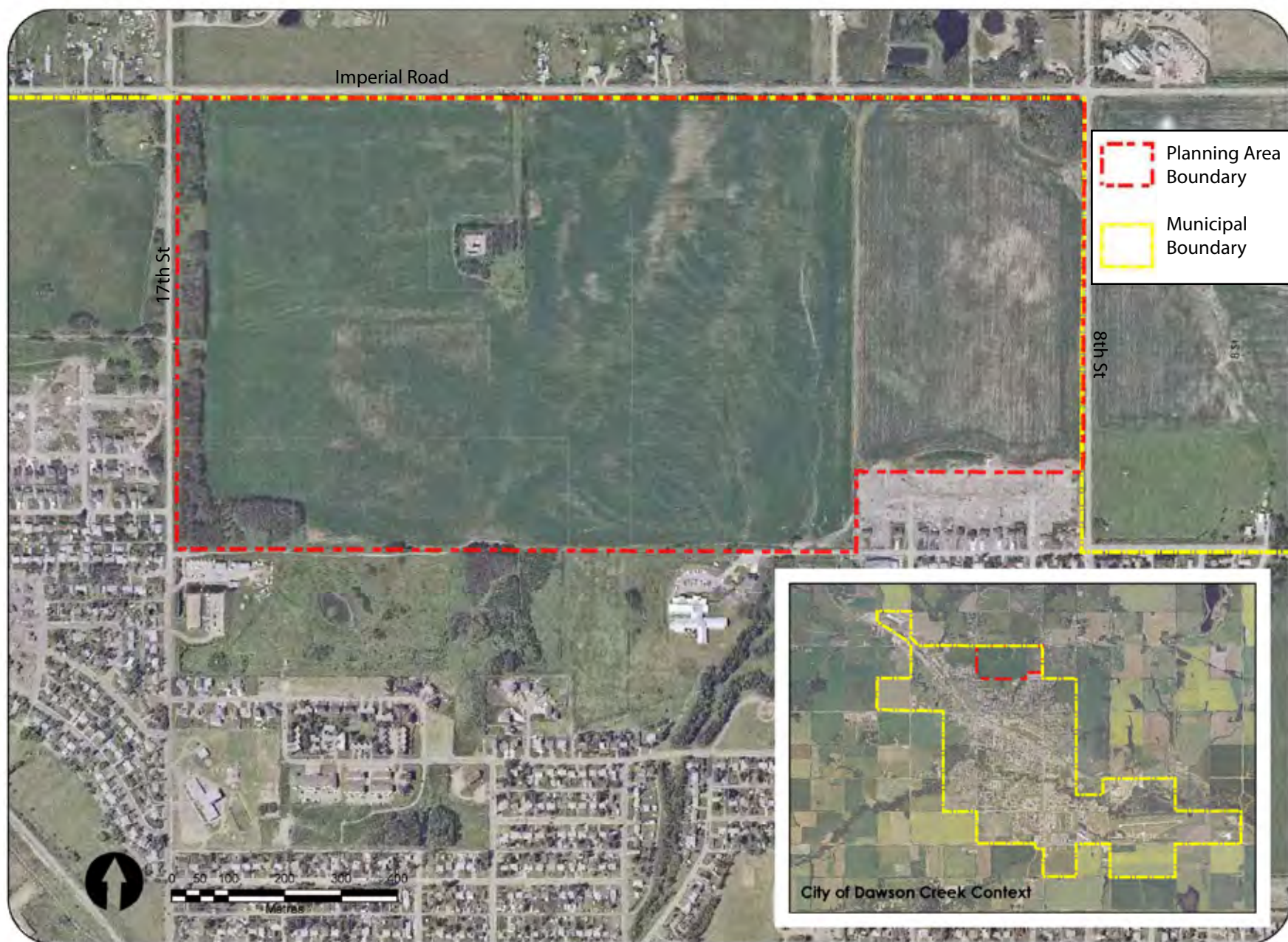


The site is currently used for agriculture. Given housing prices in the region are high and world energy costs continue to rise, the development of this site presents opportunities to explore new housing typologies suitable to a range of family sizes that are more affordable and sustainably developed.

An Edge to Agricultural Land



The site is directly adjacent to agricultural land. This constrains the development of the site because it must take into account this character and place. It also is an important site, in that, it must take into account the transition between urban and agricultural land uses. This presents opportunities to explore innovative options for edge design and celebrate former agricultural use.



This map illustrates the future land uses intended by Council for the area within the Neighbourhood Plan. These designations will govern future development, redevelopment or rezoning of the property.

Figure 3 - Planning Area & Context
2.0 Neighbourhood Vision

NEIGHBOURHOOD VISION

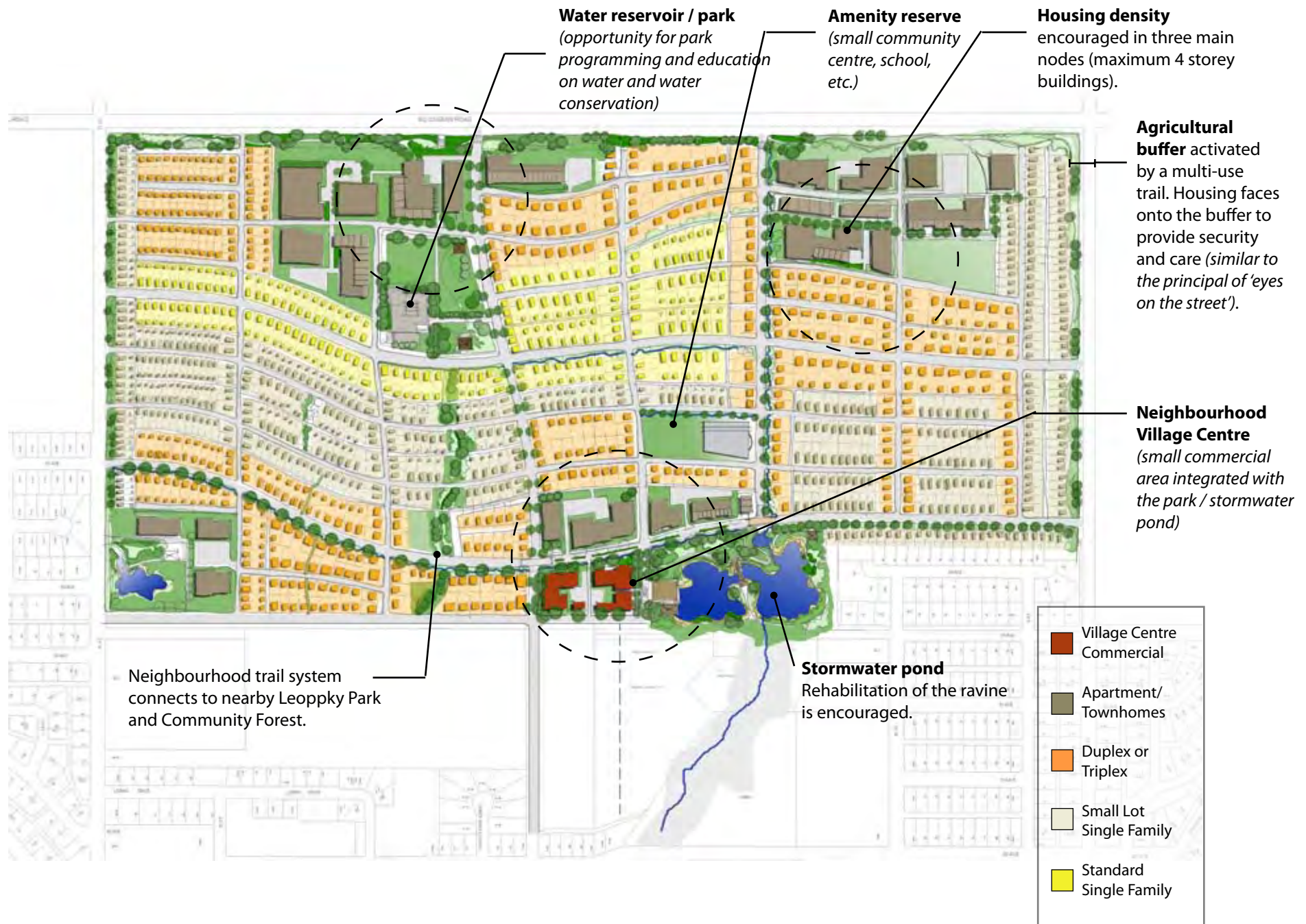
Respect and integrate natural site systems with development and community to create a characteristic and functional place that maximizes site opportunities and celebrates its cultural and ecological context.

DESIGN CONCEPT

Guided by Dawson Creek's sustainable planning principles, the neighbourhood seeks to layer and integrate natural site characteristics and systems with community needs and development infrastructure. The Plan responds to a growing regional demand for mid-density, more affordable housing forms and takes advantage of the opportunity provided by those densities to promote walking, cycling, and transit. Thus, residential development is organized around a central village area adjacent to a school reserve site and destination park linked by a network of multiple road and trail connections through the neighbourhood. The neighbourhood focuses on a mix of housing types arranged to maximize great views and take advantage of passive solar gain. Street layout follows natural contour lines that avoid difficult topographical variation. Streets located in water catchment areas with high volumes (downslope) have swales and are designated as 'stormwater streets'. Swales double as convenient and attractive walking and cycling pathways unique to the neighbourhood, which enhance the aesthetic and ecological assets of the development. The integrated system of green spaces with circulation and infrastructure connects to the natural drainage system off site, as well as creates a network of internal public spaces and facilities, including the park/school reserve site, walkways, natural vistas, corridors, trails, and transit



2.1 Illustrated Concept Plan



Land Use Plan

Stormwater pond

prevents flooding and integrated as a recreational amenity for the existing and new neighbourhood.



Extensive neighbourhood trail system

throughout and around the perimeter of the neighbourhood. Trails correspond and integrated with stormwater streets.



Mix of housing typologies

to suit a range of incomes and lifestyles. Flexible lot sizes can accommodate a variety of housing, dependent on market needs. Housing is **solar ready** for energy efficiency.



A vibrant neighbourhood centre

adjacent to the park uses meets some of the daily needs of residents and a 'heart' to the neighbourhood.



Land Use Plan



stops.

3.0 Land Use, Density & Housing

The land use designations outlined in **Figure 4 – Land Use Designation & Density** provide a framework for the coordinated and sustainable long-term development of the Sunset Ridge – Harvest View planning area.

The proposed residential housing mix for the Neighbourhood is outlined below:

Housing	Amount (%)	Avg. Lot Size (m2)
Single Family (standard lot)	12%	650 (7,000sqft)
Single Family (small lot)	30%	465 (5,000sqft)
Multi-Family (street oriented)	35%	465 - 650 (5,000 to 7,000 sqft)
Multi-Family (apartment)	23%	8,000 (86,000sqft)

OBJECTIVE

To create a compact and complete community that reduces the neighbourhood's footprint.

POLICIES

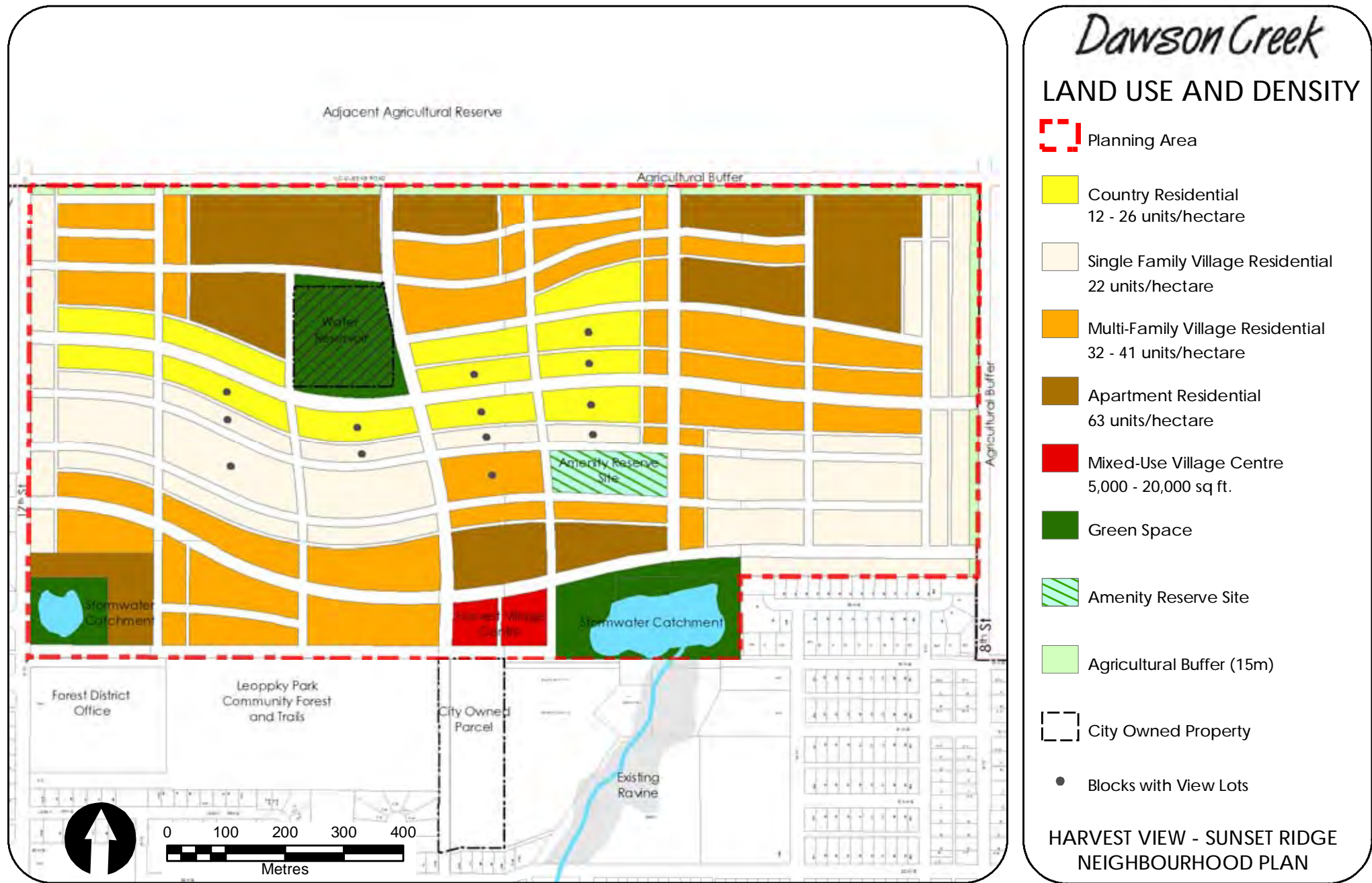
All policies are applicable to all residential land uses in the Plan area unless otherwise specified:

Land Use Designations & Policies

- 3.1 The application of development cost charges will be evaluated and applied at the discretion of the City.

- 3.2 Land uses shall be applied in the neighbourhood as illustrated in **Figure 4 – Land Use Designation and Density.**
- 3.3 All residential development should address the vision and planning principles outlined in the Plan, in accordance with the policies outlined herein.
- 3.4 Minimum and maximum densities, optimal lot dimension, lot coverage, parking, and stormwater management requirements shall be applied to residential land uses in the neighbourhood as indicated in the **Table 1 - Residential Land Use Designation - Building Typologies and Design Considerations.**
- 3.5 Block sizes and orientation shall be applied to residential land uses in the neighbourhood as indicated in **Figure 5 - Housing Typologies - Options for Lot and Block Layout.**

Figure 4 – Land Use Designation and Density.



This map illustrates the future land uses intended by Council for the area within the Neighbourhood Plan. These designations will govern future development, redevelopment or rezoning of the property.

Country Residential – (Standard Lot Single Family)

Description:

The Standard Lot Single Family designation accommodates lower-density residential development at densities below 12 – 26 (with coach house) units per hectare. Standard Lot Single Family lands are situated in the northern neighbourhood area with steeper slopes, where it is more efficient to create longer and narrower lots that require less road frontage; however, in keeping with the lower density residential character of this designation, the recommended minimum lot frontage for lots in the Standard Single Family designation is 13.5 metres - 16.5 metres.

Building Typologies:

Standard Single Family Lots with or without coach houses



Photo 1. Single Family with rear lot access.



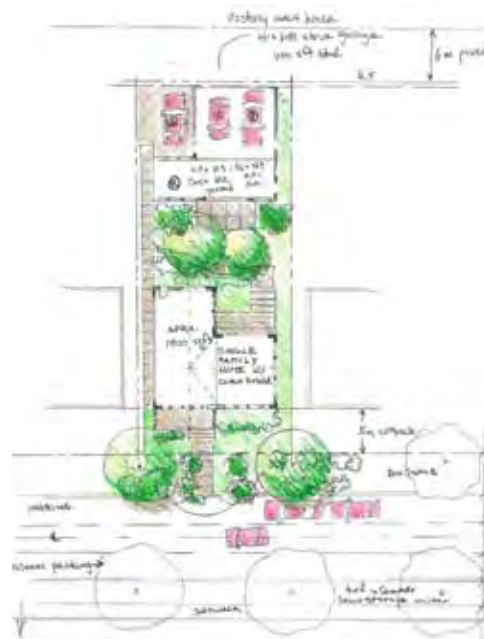
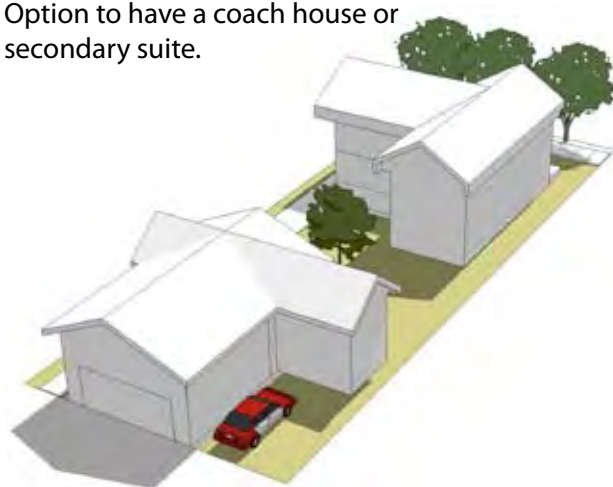
Photo 2. Coach house above garage.



Photo 3. Single Family with front lot access - garage does not extend beyond the house. Extensive landscaping and street swale in front.

Design Considerations:

Option to have a coach house or secondary suite.



Land Use Plan

Single Family Village Residential

Description:

The Single Family Village Residential land use designation provides a choice for households who desire a more compact single-family option at average densities of 22 units per hectare. Single Family Village Residential uses are situated in close proximity to local neighbourhood amenities, around focal points of parks and the reserved school site.

Building Typologies:

Small Lot Single Family with garage in front or behind (lane access)



Photo 1. Small lot single family with front access.



Photo 2. Small lot single family with rear access and street parking permitted.



Photo 3. Street oriented - short front set-backs.

Design Considerations:

Innovative organization of lots, such as shared parking, zero lot setbacks, etc. will be considered to maximize private and built areas.



Multi-family Village Residential

Description:

The Multi-Family Village Residential designation is intended to provide a ground oriented, attached housing option within the neighbourhood. Areas designated as multi-family are flexible, in that, there are a number of residential typologies (townhome, duplex, triplex, etc.) that are acceptable here. The typologies can be determined by housing and market needs over time. Contributing to a mix of compact housing types to foster community diversity, Multi-Family Village Residential front directly onto public streets, and have street-oriented entrances with private rear yard areas. Vehicular access is primarily provided from the rear lane and where there is front access, parking can be shared. Average densities for Multi-Family Village Residential are around 32 - 41 units per hectare.

Building Typologies:

Duplex, Duplex with coach house, Triplex, Rowhousing



Photo 1. Front accessed town homes with private back-yards.



Photo 2. Carriage court and common landscaped areas.



Photo 3. Two duplexes on one corner lot each with a private area.

Design Considerations:



Land Use Plan

Apartment Residential (outside the Harvest Village Centre)

Description:

The Apartment Residential designation provides a higher density of housing at average densities of 63 units per hectare. This designation is located in small nodes on the north and south west side of the plan area adjacent to major travel corridors (enable future transit service) and large green spaces.

Building Typologies:

4 storey buildings, stacked townhouse



Photo 1. Apartment residential with internal pedestrian pathways provide common space and buffer between buildings.



Photo 2. Buildings are articulated to provide aesthetic interest and maximize private spaces. Roof lines fit within the character of the surrounding neighbourhood.



Photo 3. Rain gardens provide common residential spaces and minimize site runoff from paved areas.

Design Considerations:

Buildings should be articulated to add variety, aesthetic interest, and to maximize private and common residential areas.



Apartment residential buildings front entrance faces onto the street. Parking areas and entrances to parking should be concealed alongside or behind the building.

Commercial - Mixed Use

Description:

This area is the heart of the neighbourhood, integrated with the park area and stormwater pond. The building are mixed use with retail, office uses below and residential uses above.

Building Typologies:

4 storey buildings



Photo 1. Apartment residential with small corner coffee shop. Each storey of the building steps back to create some out



Photo 2. Buildings are articulated to provide aesthetic interest and maximize private spaces. Roof lines fit within the character of the surrounding neighbourhood.



Photo 3. Rain gardens provide common residential spaces and minimize site runoff from paved areas.

Design Considerations:

All buildings must have a strong pedestrian/street orientation on the ground floor.



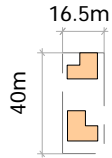
Apartment residential buildings front entrance faces onto the street. Parking areas and entrances to parking should be concealed alongside or behind the building.

Table 1. Residential Land Use Designations - Building Typologies and Design Considerations

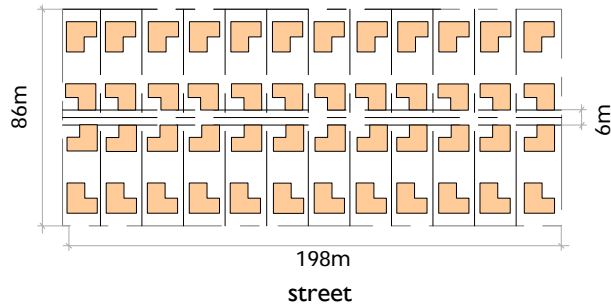
	Designation	Density (units/ha)	Proposed Typology	Average Lot Dimension	Max. Lot Coverage (%)	Parking (stalls/unit)	Required Stormwater Management
	Country Residential	12 – 26	Standard Lot Single Family with permitted coach house above garage (accessed from alley), secondary suites and flex housing <i>Located on blocks with alley ways</i>	16.5m x 40m	70%	2 stalls for unit 1 stall per coach house	absorptive topsoil (18")
	Single Family Village Residential	22	Small Lot Single Family with permitted secondary suites and flex housing <i>Located on lot with and without alley ways</i>	15m x 30m	50%	1 per unit No driveways on street allows for street parking	absorptive topsoil (18")
	Multi-family Village Residential	32 - 41	Duplex with rear access parking with on site coach house (above garage) - <i>Located on lot with alley</i>	16.5m x 40m	70%	1 stall per unit 1 stall per coach house	absorptive topsoil (18") extra area allowed for rain gardens on lots that are across the street and down slope from single family lots
			Duplex with front access parking (from street)	16.5m x 30m	60%	1 stall per unit	absorptive topsoil (18")
			Triplex (through to six-plex) front access parking (from street) <i>Located on lot without Alley</i>	24m x 30m (8m building frontage unit)	63%	1 stall per unit	absorptive topsoil (18")
	Apartment Residential	63	Apartment 4 to 6 storey, mixed use commercial residential permitted in the Village Centre	70m x 100m	51% max unless underground parking provided	1.5 per apartment unit (on average)	absorptive topsoil (18") Site drains to rain garden for 6mth storm (31mm)

Figure 5 – Housing Typologies - Lot and Block Layout

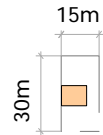
Country Residential - Standard Lot Single Family
(with or without Coach House)



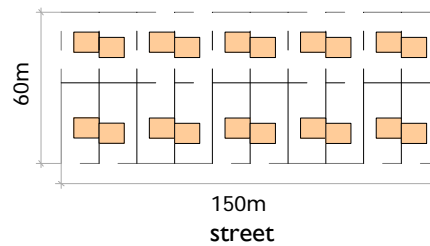
Average Block - 24 to 48 units
12 to 26 units per hectare (5 to 11 u.p.a.)



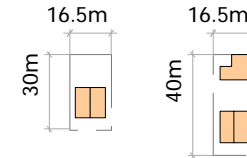
Small Lot Village - Single Family



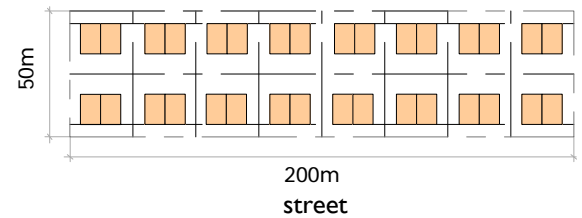
Average Block - 20 units
22 units per hectare (9 u.p.a.)



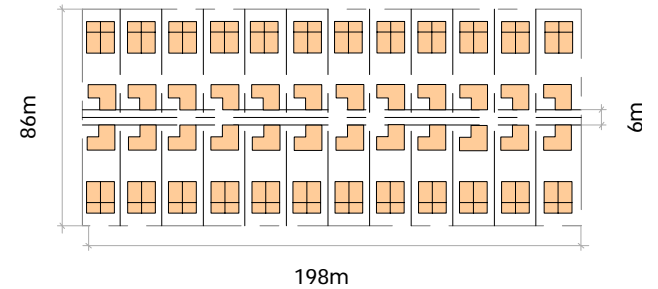
Multi-Family Village Residential -
Duplex and Duplex with Coach House



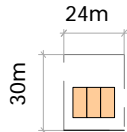
Average Block - 32 units
32 units per hectare (13 u.p.a.)



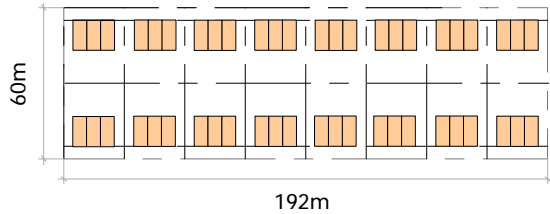
Average Block - 72 units
41 units per hectare (17 u.p.a.)



Multi-Family Village Residential - Triplex

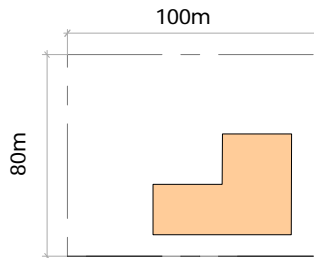


Average Block - 48 units
41 units per hectare (17 u.p.a.)



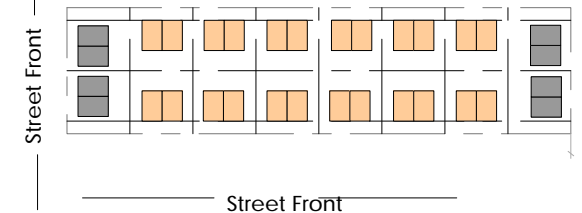
Apartment Residential

4 Storey Apartments - 50 units
41 units per hectare (>26 u.p.a.)



Unit Size (average)
1 bed = 750 sq ft.
1 bed + den = 900 to 1000 sq ft.
2 bedroom + den = 1200 sq ft.

Block organization:
To maintain street-oriented residential area -
blocks should be 'capped'



Cap blocks on neighbourhood arterials

Land Use Plan

Duplex Housing -
side by side



On narrow lots -
Offset duplex housing
to create a shared
middle pathway to side
entrances

Ensure multi-family
housing has the same
amenities found in
single family homes -
garden spaces, private
entry, parking.

In addition to general land use policies, the following policies are applied to specific residential land use designations:

Country Residential (Standard Lot Single Family) and Single Family Village Residential (Small Lot Single Family)

- 3.6 Accommodate Single Family Village Residential homes adjacent to Standard Lot Single Family.
- 3.7 Recognizing that Single Family Village Residential are a compact housing form, subdivision proposals must be in accordance with required setbacks, housing form and landscaping that contribute to well defined attractive streetscapes.

Multi-family Village Residential and Apartment Residential

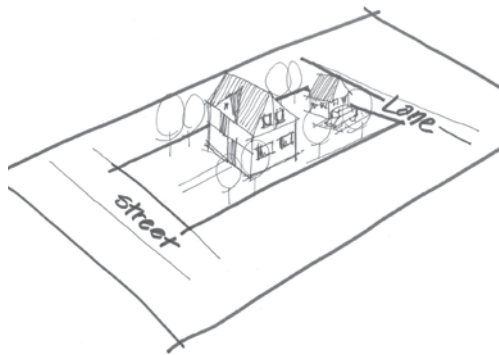
- 3.8 Continue to respond to housing needs, market and land constraints by facilitating attractive forms of compact housing types. Encourage multi-family housing that appeals to people seeking features traditionally associated with single-family housing. Such features may include: an area to garden, play or enjoy the outdoors; direct access at grade; workshop spaces; variety of unit sizes; and locations in family-oriented areas of the neighbourhood (close to amenities).
- 3.9 Accommodate Multi-Family Village Residential homes along primary neighbourhood arterials, and areas adjacent to the Harvest Village Centre.

Land Use Plan

- 3.10 Ensure that the design of Multi-Family Village Residential homes contributes to a unified streetscape and provides ground-oriented units with direct access from the street. Buildings should be articulated to create adequate private and common spaces.
- 3.11 Ensure that individual units, their entries, and private outdoor spaces are designed to maximize privacy and clearly delineate private and common spaces.
- 3.12 Where special needs or affordable housing is provided an additional bonus density may be permitted.
- 3.13 All homes shall front the street and have their principal entry onto the street.



Housing should present a friendly face to the street - doors and porches should be visible and garages should not extend beyond the front facade of the house.



Where possible, lanes should be used for access.

Land Use Plan



A small commercial node integrated with park area is the heart of the neighbourhood.

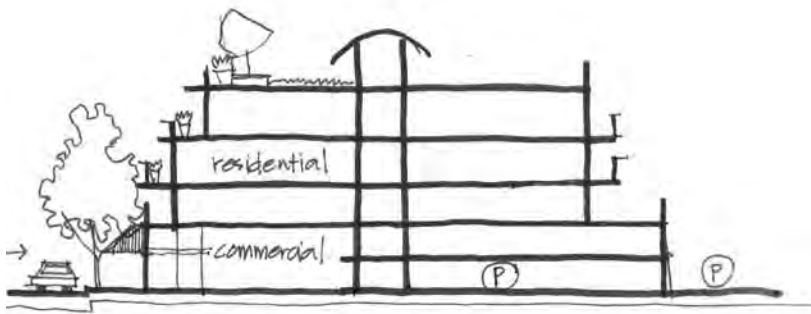
Mixed Use – Commercial

- 3.14 No fewer than 465m² (5,000 sq.ft.) of commercial uses shall be provided.
- 3.15 Commercial uses shall be small in scale and local in nature. Commercial uses may be permitted outside the Harvest Village Centre and in the neighbourhood at the discretion of Council. Vehicle-oriented commercial uses such as drive-in or drive-through businesses, fast food outlets, gas bars, and service stations are inappropriate for the neighbourhood and are prohibited.
- 3.16 Apartment Residential buildings within the Harvest Village Centre will contain a mix of residential, live/work and commercial uses, and shall be a maximum of six stories in height.
- 3.17 All at-grade uses in the Harvest Village Centre shall be commercial along all street frontages. Residential uses should be situated above commercial uses in the Harvest Village Centre.
- 3.18 Primary building frontage in the Harvest Village Centre shall be built to the sidewalk,

with facades parallel to the property line directly abutting a sidewalk or open space, except on corners where building frontage may be at an angle.

- 3.19 All buildings shall have their principal entry onto the street.
- 3.20 Storefront module widths shall be a maximum of 12.0 metres to enable a pedestrian-scaled streetscape.

Buildings should be articulated (stepped back) from the street to minimize the impact of height and facilitate views and solar exposure. Parking should be located behind or under the building.



PART B - DEVELOPMENT POLICIES

To develop a safe, environmentally-friendly, community-oriented transportation system that prioritizes pedestrians and other non-motorized users.



4.0 Access & Movement

OBJECTIVE

To develop a safe, environmentally-friendly, community-oriented transportation system that prioritizes pedestrians and other non-motorized users.

POLICIES

Neighbourhood Circulation

The transportation network follows a landscape oriented grid aligned with natural contours and that creates short blocks to provide multiple travel routes for vehicles and promote a pedestrian and cyclist friendly neighbourhood.

Refer to section **Section 5 – Infrastructure and Servicing** for streets designated as ‘stormwater streets’.

- 4.1 Access and movement throughout the neighbourhood should conform to the network as illustrated on **Figure 6 – Circulation**. Dead ends and cul-de-sacs are discouraged.
- 4.2 While rear lanes are encouraged, front-loaded street access may be provided where site development constraints such as steep topography, stormwater needs, natural features, environmentally sensitive areas, and/or parcel size or configuration would limit vehicular access. However, to enhance the pedestrian-oriented character of medium and high density residential areas, rear lane access is preferred.

Neighbourhood Arterials

- 4.3 Roads designated as neighbourhood arterials shall provide primary circulation in and out of the neighbourhood.

DEVELOPMENT POLICIES

- 4.4 Amend the Subdivision and Development Servicing Bylaws to include neighbourhood specific streets for Neighbourhood Arterial - as shown in **Figure 7 and 8 - Neighbourhood Arterial**.
- 4.5 All Neighbourhood Arterials shall have sidewalks and street trees on both sides of the right-of-way.



All streets should have sidewalks for pedestrian comfort.

Residential (local) Roads

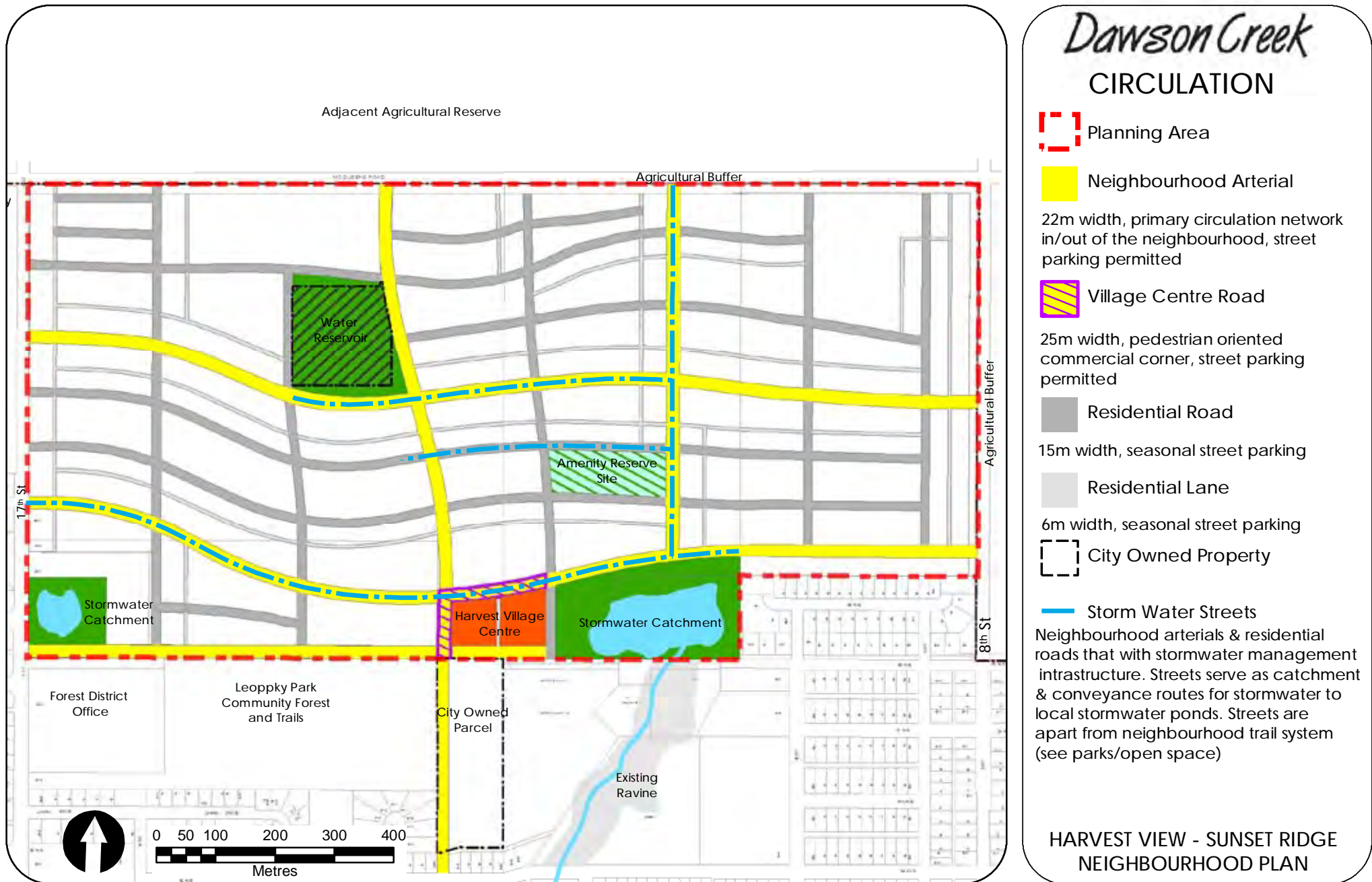
Refer also to section **Section 5 – Infrastructure and Servicing** for streets designated as ‘stormwater streets’.

- 4.6 Streets designated as local – residential shall provide internal circulation within the neighbourhood.
- 4.7 Amend the Subdivision and Development Servicing Bylaws to include neighbourhood specific street standards for residential (local) roads as shown in **Figure 9 - Residential (local) Road**.
- 4.8 All Residential (local) Roads shall have sidewalks and street trees on at least one side of the right-of-way. Residential (local) Roads shall have sidewalks on both sides of streets within 1 block of the reserve site (for potential future school or recreation centre, and Harvest Village Centre).
- 4.9 All Local (Residential) Streets shall have sidewalks and street trees on at least one side of the right-of-way. Local (Residential) Streets shall have sidewalks on both sides of streets within 1 block of the reserve site (for potential future school or recreation centre, and Harvest Village Centre).



Village Centre Road

Figure 6 - Neighbourhood Circulation.



This map illustrates the future land uses intended by Council for the area within the Neighbourhood Plan. These designations will govern future development, redevelopment or rezoning of the property.

Refer to **Section 5 – Infrastructure and Servicing** for Village Centre Street, as it is designated as a ‘stormwater street’.

Neighbourhood Trail Network

There are four multi-use trails connecting destinations throughout the neighbourhood – 1) Perimeter Trail, 2) Ridge Trail, 3) Pond Loop and, 4) Valley Trail. The objective of the trail network is to provide safe alternative recreational and commuter routes within and connecting out of the neighbourhood.

- 4.10 A multi-use trail system that accommodates the movement of pedestrians, cyclists and other non-motorized users in, out and through the neighbourhood shall be provided and shall conform to the routes identified in **Figure 10 - Parks and Open Space**.

Landscaping – Street Trees



The objective of a trail network is to provide safe alternative recreational and commuter routes within and connecting out of the neighbourhood.

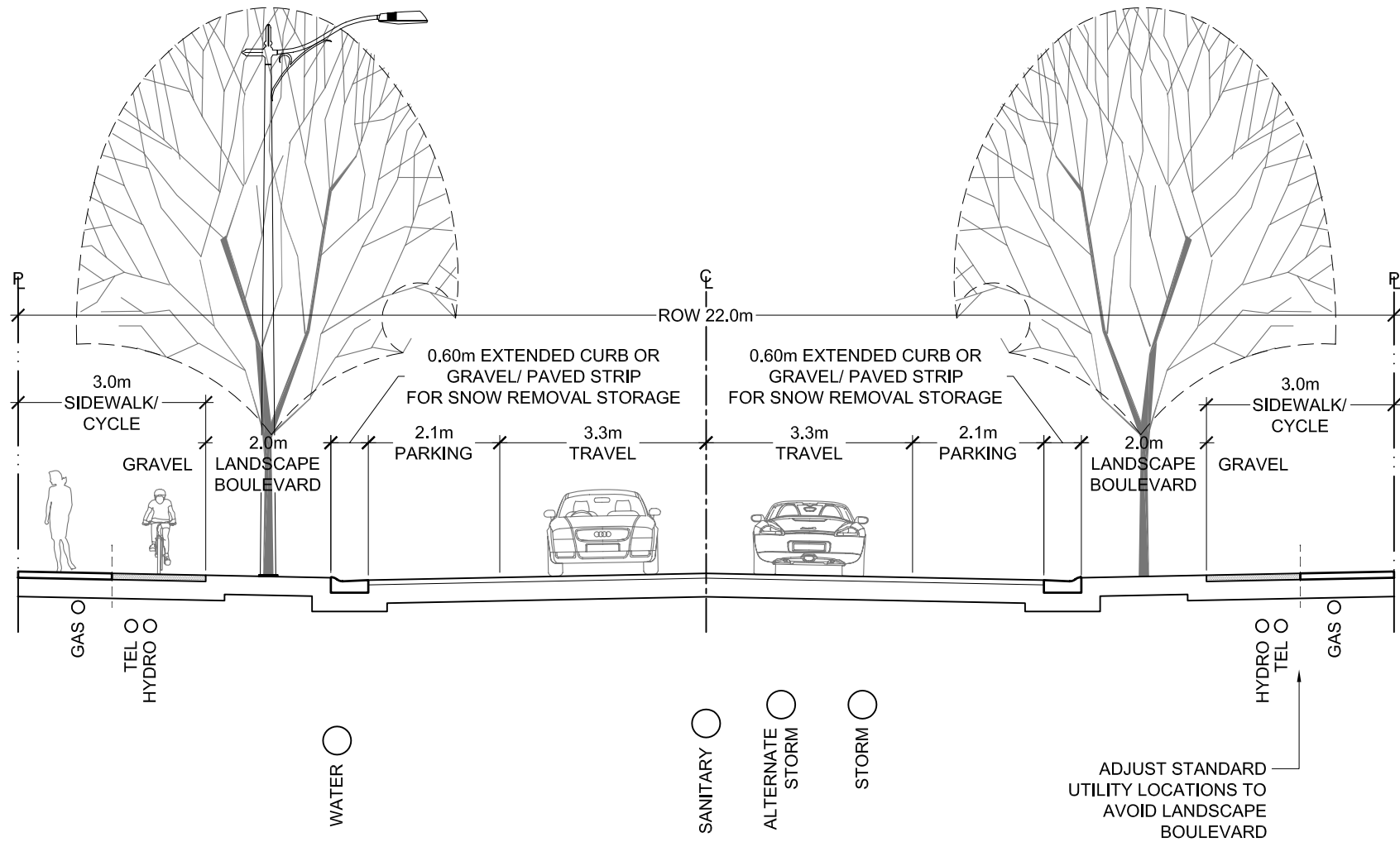


Figure 7 - Conceptual option for the design of a neighbourhood arterial.

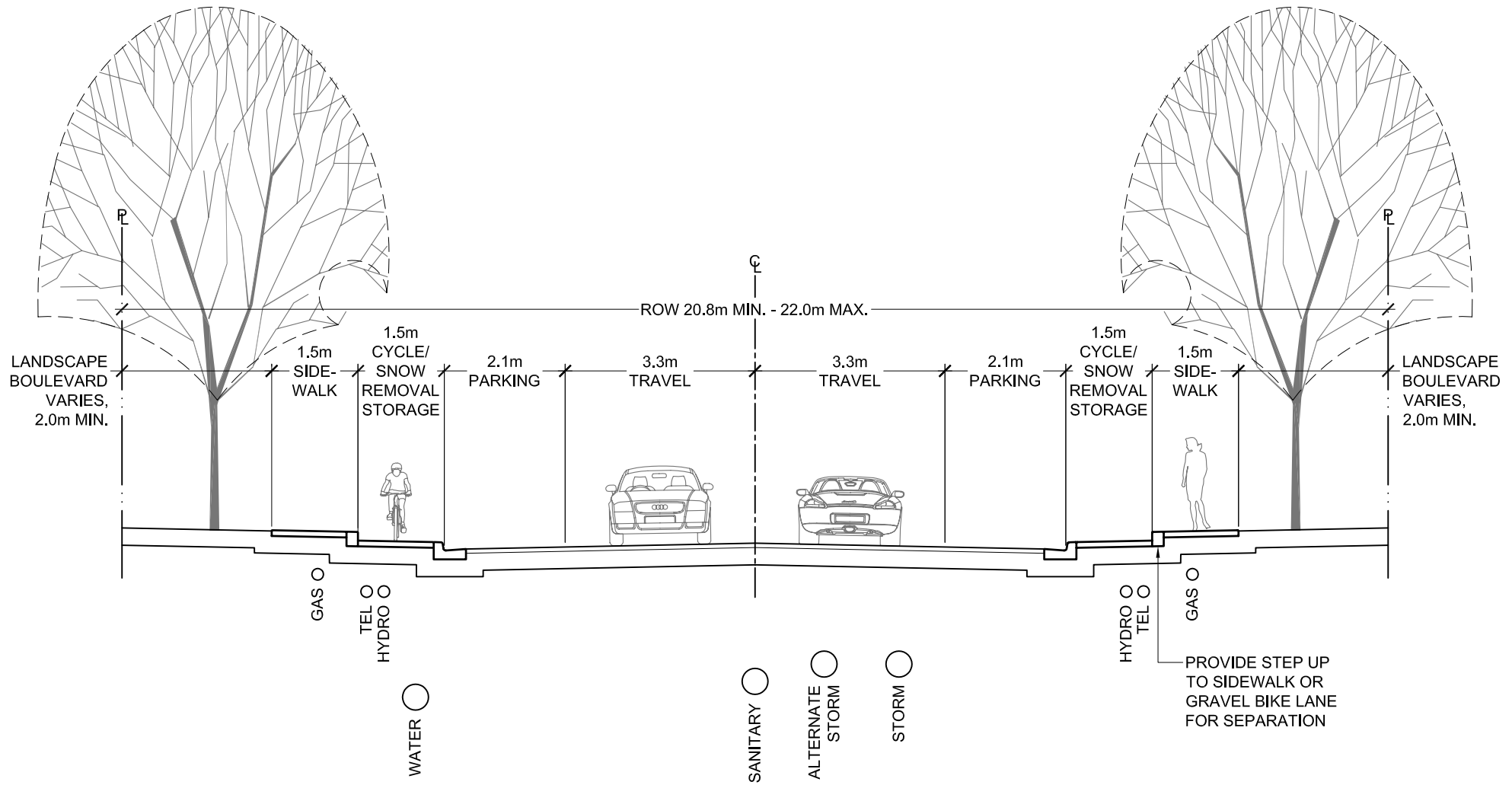


Figure 8 - Conceptual option for the design of a neighbourhood arterial.

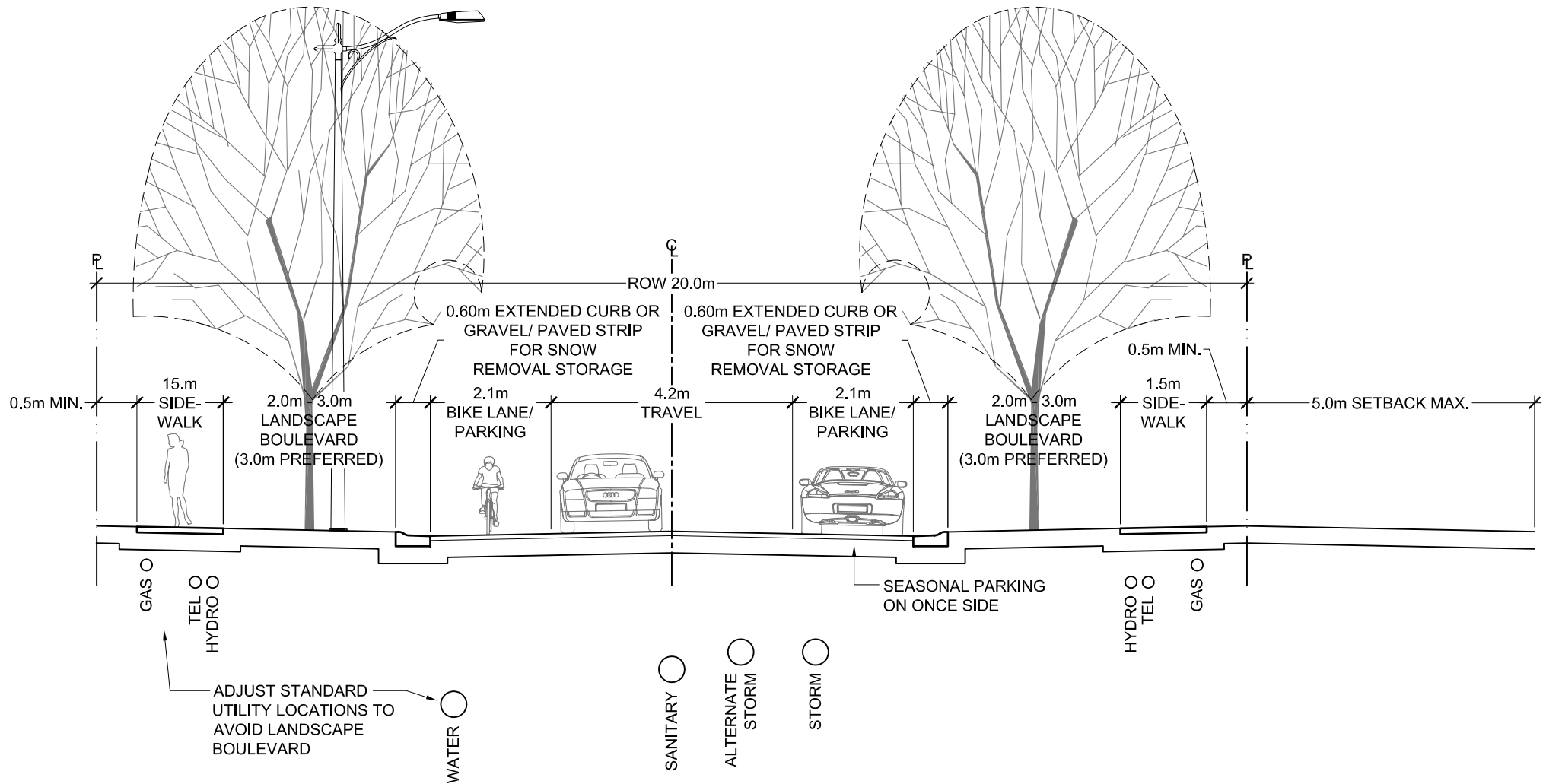


Figure 9 - Conceptual option for the design of a residential (local) road.

DEVELOPMENT POLICIES

- 4.11 Amend the Subdivision and Development Servicing Bylaw to include boulevard trees as Supplementary Specifications with a schedule of suitable street tree species, size at planting, and Best Management Practices for planting and maintenance requirements. Preliminary list of approved species for the Sunset Ridge - Harvest View is included in **Appendix B – Preliminary List of Tree Species**.
- 4.12 With the City’s recommendation, determine and establish an optimal tree cover target to be achieved post-development on private and public property. Support residents with recommended list of species for landscaping.

Parking & Loading - General

- 4.13 Where there are inconsistencies between parking and loading space requirements in Section 5 of the Zoning Bylaw and in this Neighbourhood Plan, policies in the latter will take precedent.



*All streets should
have street trees
and sidewalks for
pedestrian comfort.*

DEVELOPMENT POLICIES



Option to reduce parking requirements where alternative on-street parking is available.



Garages shouldn't extend beyond the front facade of the house.

Residential Parking

Residential parking requirements are as follows:

Table 2. Residential Parking Requirements

Unit Type	Lane Access	Stalls/Unit (minimum)	Location
Country Residential	Yes	2	1 on-street 1 off-street
Country Residential - Coach Housing or Secondary Suite	Yes	3	1 or 2 on-street 1 or 2 off-street
Single-Family Village Residential	Yes	1	on or off-street
Single-Family Village Residential with Coach Housing or Secondary Suite	Yes	2	on or off-street
Duplex	Yes/No	1	on or off-street
Duplex with Coach Housing	Yes	2	1 or 2 off-street
Apartment	Yes/No	1.5 (avg.)	at building rear ¹

- 4.14 Garages, driveways and parking areas shall be accessed by rear lanes and prohibited along streets, unless rear lanes are not provided.
- 4.15 Where laneway (alley) access does not exist, permit vehicular access to Standard Lot Single Family residential lots from the street front provided that driveway crossing widths are minimized to reduce negative impacts on the pedestrian environment.

DEVELOPMENT POLICIES

- 4.16 Where laneway (alley) access does not exist, promote shared access between adjacent residences to minimize the visual impact of driveways and the number of driveway crossings impeding the pedestrian environment.
- 4.17 Where laneway (alley) access does not exist, aesthetically minimize the extent of the front façade occupied by garage doors (provide detailing, set back from the front façade of the house, etc.)
- 4.18 Where rear yard access is not possible on internal streets, garages shall not extend beyond the front building facade.
- 4.19 Although rear lane access to Small Village Single Family residences is encouraged, front-loaded street access may be provided where site development constraints such as steep topography, natural features, environmentally sensitive areas, and/or parcel size or configuration would limit vehicular access options.
- 4.20 Where laneway access does not exist, promote shared access between adjacent residences to minimize the visual impact of driveways and the number of driveway crossings impeding the pedestrian environment.
- 4.21 An option to reduce on-site parking requirements by up to 30 percent and/or cash in lieu for off street parking (to be used for alternative transportation infrastructure) will be considered as part of development directly adjacent to the Village Centre area if justified through the demonstration of lower automobile ownership, shared parking opportunities and other long-term incentives for occupants (bicycles included with

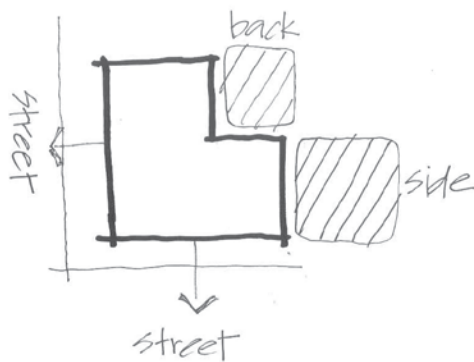


*Where possible,
consider shared
parking areas - in
order to maximize
green space.*

DEVELOPMENT POLICIES



*On-street parking
should be maximized.*



*Parking for
commercial buildings
should be concealed.*

the purchase of units, transit pass programs for residents).

- 4.22 Parking areas should be concealed, alongside or behind apartment residential buildings.
- 4.23 Priority parking on-street or stalls shall be provided for users of a car co-operative or car-share users, if and once it is established City-wide.

Commercial

- 4.24 Off-street parking in commercial areas shall be permitted only at the rear of properties, and shall not be visible from a fronting street. Where rear parking is visible from a flanking street, landscaping shall be used to screen parking from the street.
- 4.25 Maximum allowable parking spaces for commercial uses shall be set at the minimum requirements for commercial parking spaces identified in Section 5 of the Zoning Bylaw. Underground parking is encouraged for off-street parking needs in the Harvest Village Centre, where feasible.
- 4.26 Where appropriate, implement traffic calming strategies/features (e.g. roundabouts) and traffic diversion strategies (e.g. pedestrian/cyclist-only streets)
- 4.27 Ensure safe and convenient transit stops are located near commercial, mixed-use and higher-density residential uses.

DEVELOPMENT POLICIES

5.0 Infrastructure & Services

OBJECTIVE

To manage wastes and use resources responsibly and efficiently to the benefit of the community.

POLICIES

- 5.1 A detailed infrastructure and servicing plan for the neighbourhood is required as a part of the subdivision and development plan.

Stormwater Management

- 5.2 A plan for stormwater management must be addressed as a part of the subdivision and development plan and reflect the conceptual vision as described herein.
- 5.3 Amend the Subdivision and Development Servicing Bylaws to include neighbourhood specific street standards for the Village Centre Road, Neighbourhood Arterial and Residential (local) Road designated as stormwater streets as shown in **Figure 10 - Village Centre Road, Figure 11 - Neighbourhood Arterial and Figure 12 - Residential (local) Road**.
- 5.4 A rain garden shall be provided in apartment developments to assist in storm water management.
- 5.5 All residential development shall include 18 inches of absorptive topsoil to maximize water absorption.
- 5.6 In the absence of a City-wide stormwater management policy and design manual, **Appendix A – Recommended Stormwater Parameters**



*To manage wastes
and use resources
responsibly and
efficiently to the benefit
of the community.*

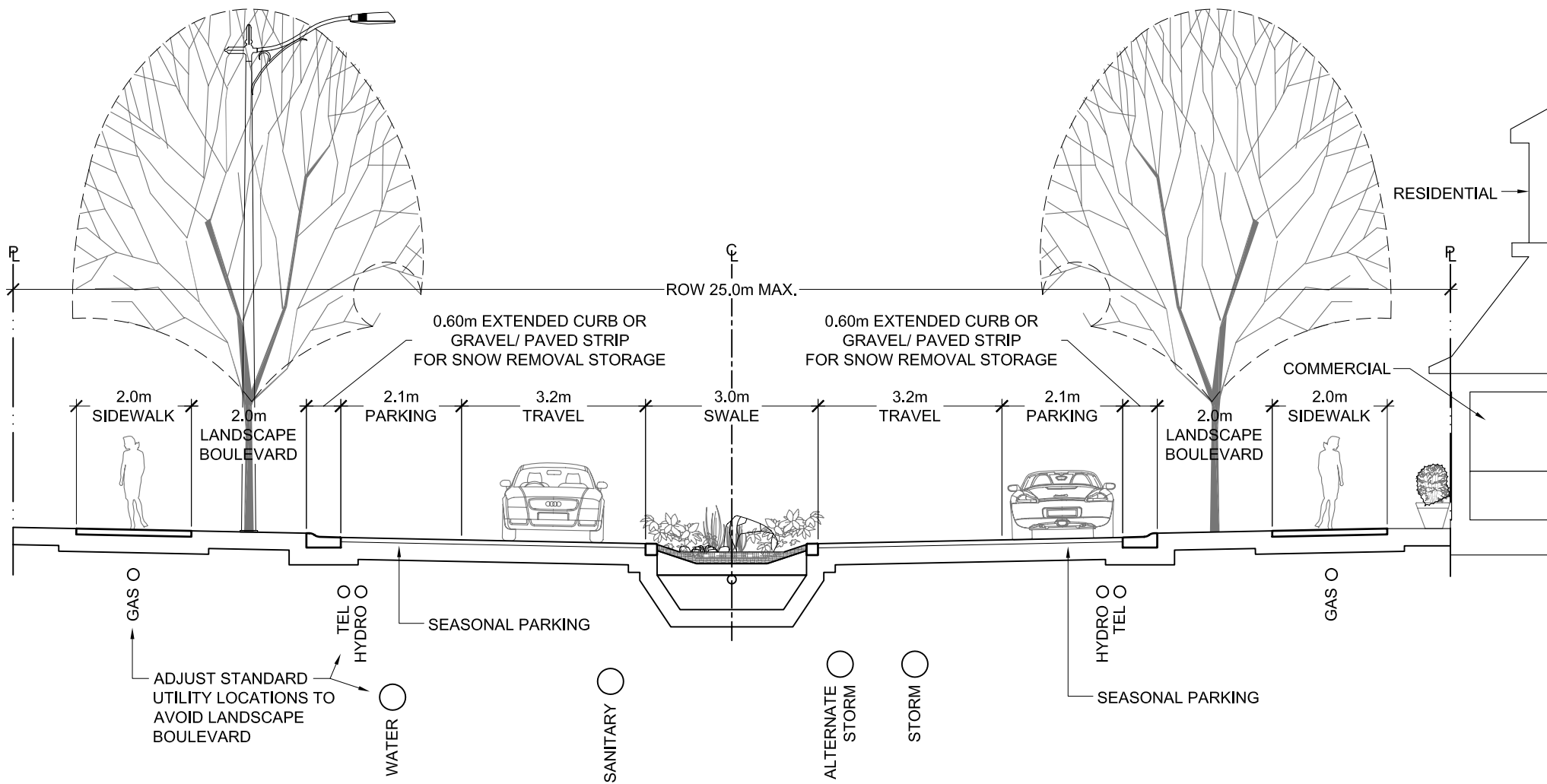


Figure 10 - Conceptual option for the design of the Village Centre Road.

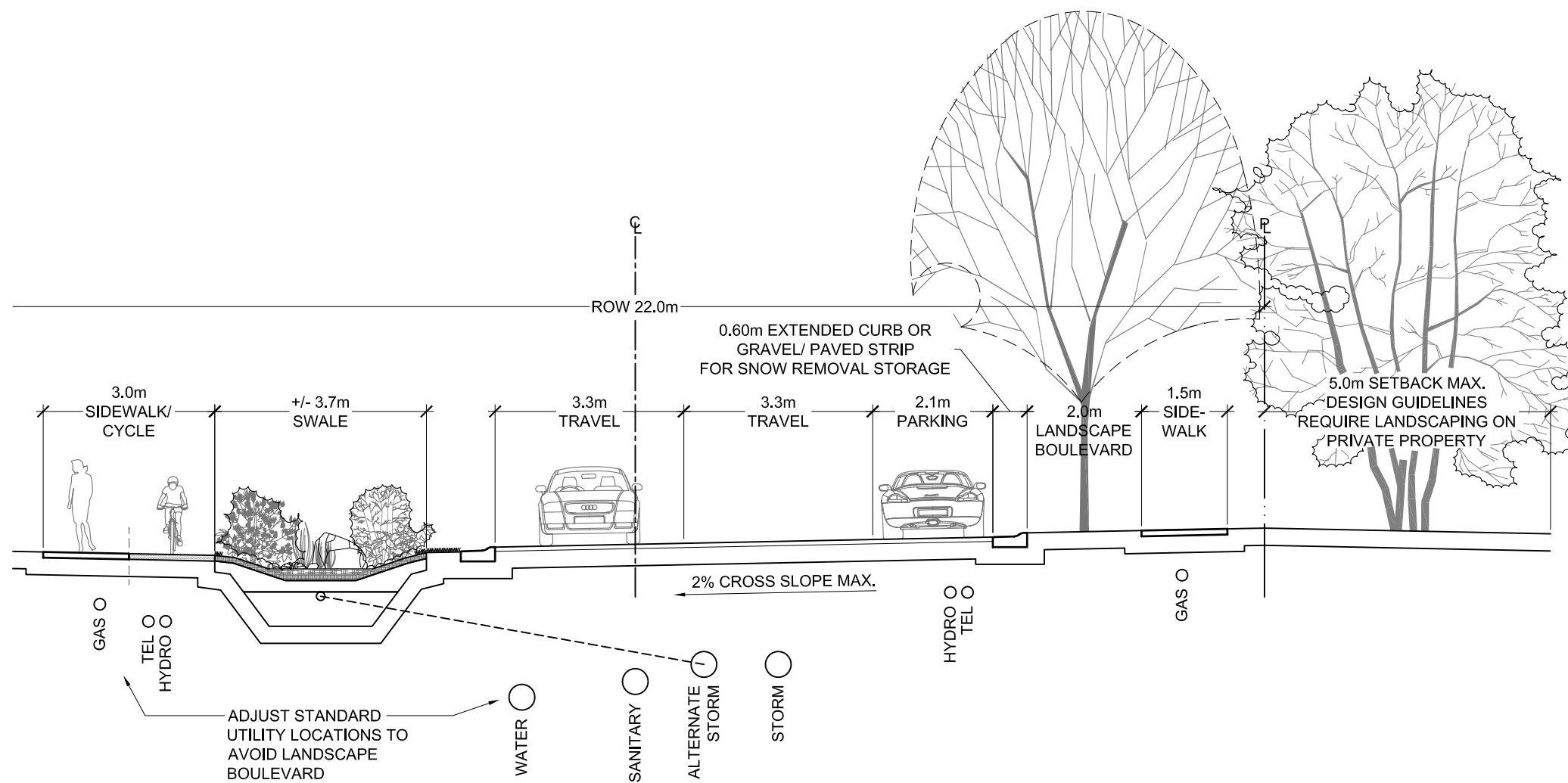


Figure 11 - Conceptual option for the design of a Neighbourhood Arterial stormwater street.

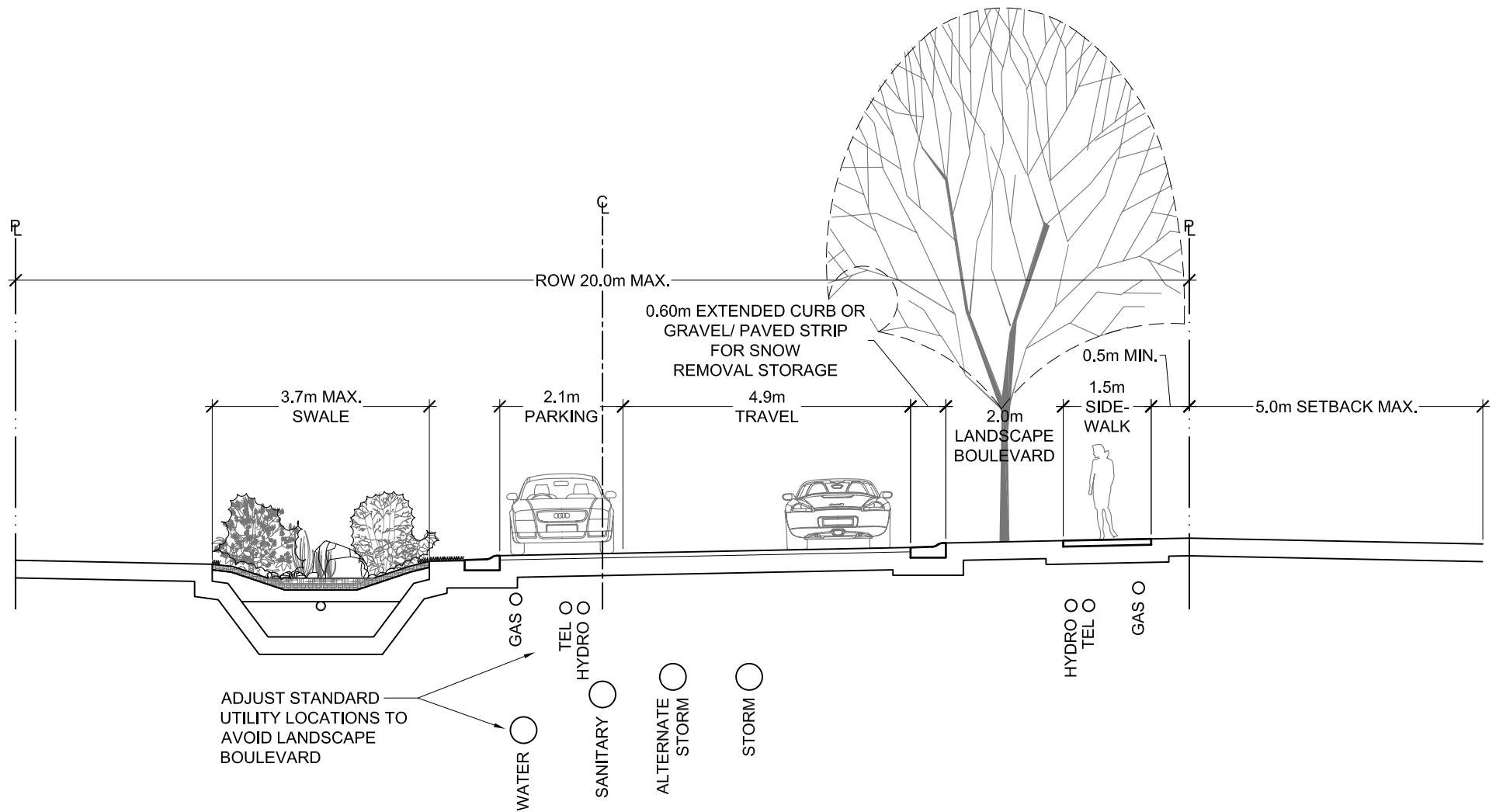
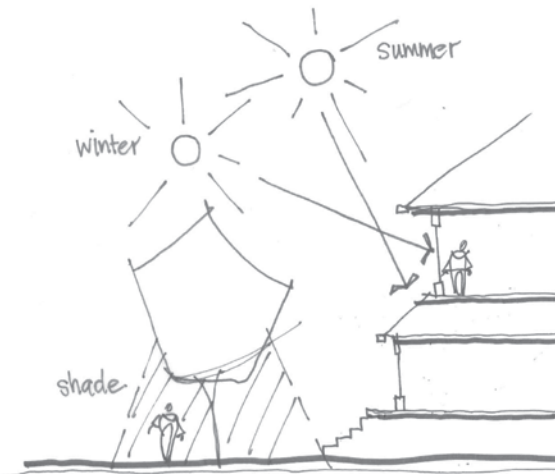


Figure 12 - Conceptual option for the design of a Residential (local) stormwater street.

DEVELOPMENT POLICIES



All housing should be solar-ready.



Build to maximize passive solar gain.

shall be used as a guide in the development of residential lots.

- 5.7 Village Centre Road shall be the primary commercial road. Standards shall be reviewed and approved by the City Engineering. Design shall conform to Figure 9 – Village Centre Road – and shall include a swale for storm water management.

Energy Efficiency

- 5.8 All residential and commercial buildings shall be built to maximize advantage of solar gain and natural ventilation.
- 5.9 If determined feasible, the neighbourhood shall be developed to accommodate the incorporation of district energy system.
- 5.10 Housing in the neighbourhood must be solar ready and should explore the installation of compatible heating systems and the required space for mechanical systems and connection point to accommodate geothermal exchange systems, should residents choose to retrofit the home in the future.
- 5.11 Use of Canadian Green Building Council - LEED (Leadership in Energy and Environmental Design) standards for multi-family and commercial and Canadian Home Builders – BuiltGreen for Single Family and Townhouse is encouraged as complementary to the approaches described in this plan. Developers are required to provide a statement of initiatives for energy efficiency as a part of subdivision approval process.

DEVELOPMENT POLICIES



Space for waste stream separation (including recycling, composting and residual garbage.



Waste

- 5.12 Space for waste stream separation and storage, including recycling, composting and residual garbage, shall be provided in all housing units or buildings.
- 5.13 Construction waste should be managed in an environmentally responsible way.
- 5.14 Builders for this neighbourhood must have reviewed the neighbourhood plan and familiar or have experience with sustainable construction.

DEVELOPMENT POLICIES

6.0 Parks, Community & Culture

OBJECTIVE

To promote social well-being, develop passive and active recreational opportunities, enhance food security, and offer cultural activities that meet a range of community needs.

POLICIES

Affordable and Energy Efficient Housing

- 6.1 Reduced or exemption of development cost charges will be considered for development of affordable housing units and/energy efficiency (such as, for profit affordable rental units, small lot housing, green building or energy efficient rated housing, etc.)
- 6.2 The City will require that residential development should be in accordance with the most current policies available in Dawson Creek's Social Planning.

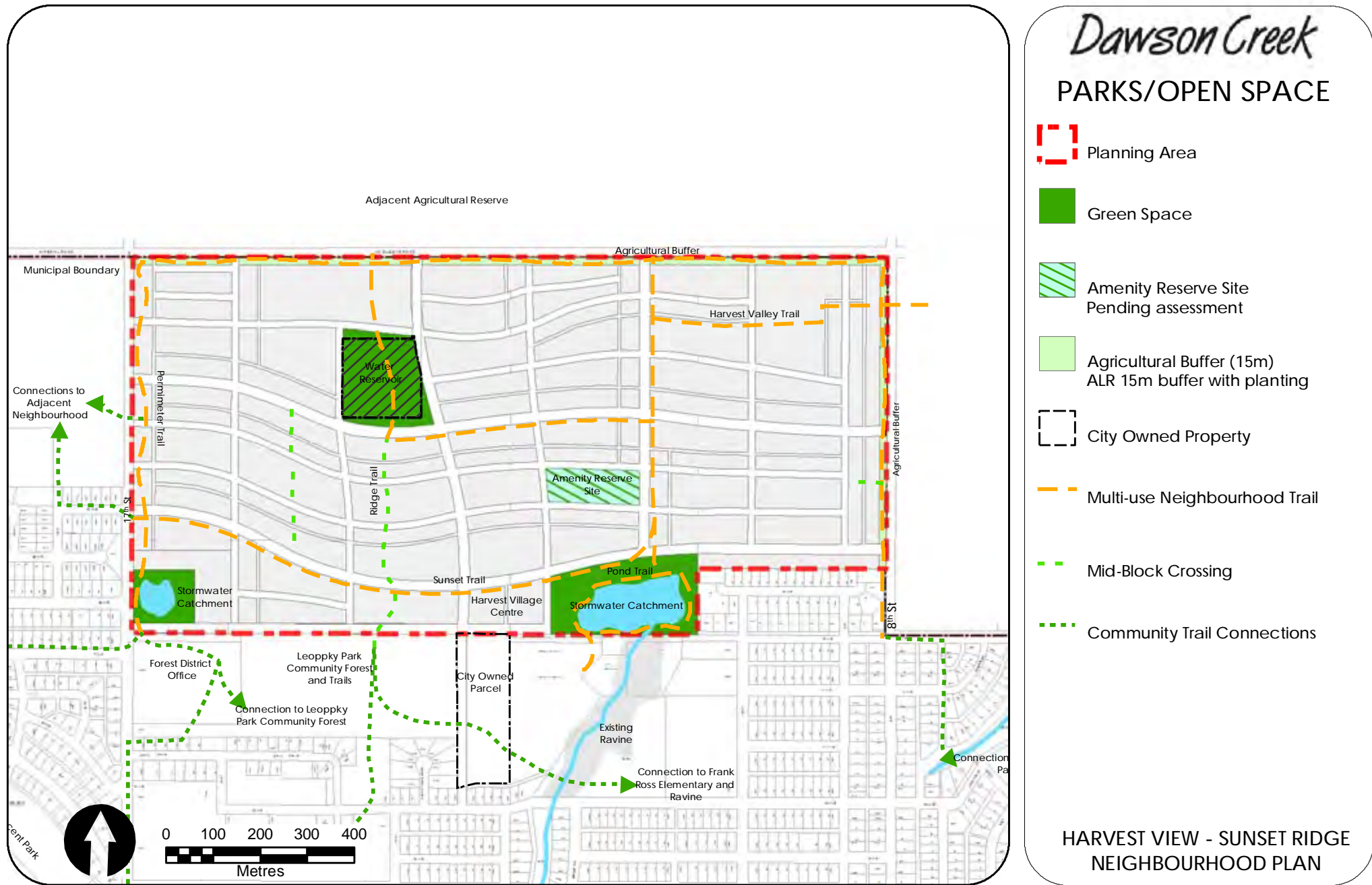
Parks and Open Space Dedication

- 6.3 A minimum of 5% percent of the neighbourhood area shall be designated as park or recreation area as shown in **Figure 13 – Parks and Open Space**. At minimum, designations shall include community park areas around the water reservoir and stormwater catchment systems, one smaller neighbourhood park, and a neighbourhood multi-use trail network (excluding the buffer requirements along agricultural land). The City may redistribute designated areas where necessary.

To promote social well-being, develop passive and active recreational opportunities, enhance food security, and offer cultural activities that meet a range of community needs.



Figure 13 - Neighbourhood parks and open space.



This map illustrates the future land uses intended by Council for the area within the Neighbourhood Plan. These designations will govern future development, redevelopment or rezoning of the property.

DEVELOPMENT POLICIES

- 6.4 Parks shall be multi-functional, and provide both passive and active recreational opportunities.
- 6.5 At least one park shall provide a youth and/or family-oriented recreational amenity.
- 6.6 An area shall be reserved for future school or recreational use. A review or survey of community needs shall be conducted prior to the construction of recreation centre or school, if required. The City may redistribute designated areas where necessary or request additional land area, if required.
- 6.7 Crime Prevention through Environmental Design guidelines as identified in the Dawson Creek Official Community Plan shall be applied to the neighbourhood. If there are inconsistencies between the guidelines and the neighbourhood plan policies, the latter will take precedent.
- 6.8 Front homes directly onto neighbourhood parks to encourage passive surveillance and security for these public spaces.



*Allow for the engagement
of community groups in
public spaces.*

Public Art Contribution

- 6.9 Public art or space for cultural activities shall be provided in one or more public location, and shall be valued at 0.5% of estimated construction costs at the time of subdivision and development. A community survey or consultation with local arts & culture related groups may be required to determine appropriate needs and requirements. If public art is not determined appropriate, cash in lieu contribution to park development or recreational programming in parks shall be assumed.



Community gardening shall be permitted in neighbourhood parks.

Destination and Neighbourhood Parks

Destination parks are defined as the larger destination parks within the neighbourhood. Neighbourhood parks are the smaller parks that serve more localized areas within the neighbourhood.

- 6.10 Community gardens shall be a permitted use in Neighbourhood Parks if organized by a local or neighbourhood society or adjacent institution (school, seniors centre, etc.) and as approved by the City Parks & Recreation Department. If desired by residents, dedicated space for growing food shall be permanent, viable, and determined as follows:

Table 3. Guide for Determining the Need for Community Garden Space

Density (dwelling units/acre)	Dedicated Growing Space m ² (sq ft.)
7 to 14	18 (200sqft.)
> 14 and ≤ 22	9 (100sqft.)
> 22 and ≤ 28	7.5 (80sqft.)
> 28 and ≤ 35	6.5 (70sqft.)
> 35	5.5 (60sqft.)
<i>or approx. 3m² or 40sqft. for each person interested in growing</i>	

- 6.11 Neighbourhood parks will allow for some active park uses (bocce ball, lawn bowling, horse shoes, small playing fields, etc.).

Neighbourhood Trail Network

There are four proposed multi-use trails connecting destinations throughout the neighbourhood – 1) Perimeter Trail, 2) Ridge Trail, 3) Pond Loop and, 4) Valley

DEVELOPMENT POLICIES

Trail. The objective of the trail network is to provide safe alternative recreational and commuter routes within and connecting out of the neighbourhood.

- 6.12 A multi-use trail system that accommodates the movement of pedestrians, cyclists and other non-motorized users in, out and through the neighbourhood shall be provided and shall conform to the routes identified in Figure 7 – Parks and Open Space unless otherwise approved by the City.

- 6.13 Wayfinding infrastructure such as interpretative signage shall be provided to assist in navigation, and to educate trail-users about the neighbourhood's sustainability features.

- 6.14 Develop standards for multi-purpose neighbourhood trails with a schedule of Best Management Practices for maintenance.

Landscape & Integrated Infrastructure

- 6.15 Public green spaces shall be landscaped to reduce water consumption and eliminate cosmetic pesticide use.

This may include:

- o Drought-resistant landscaping (xeriscape)
- o Native plant species

- 6.16 Where opportunities exist, promote responsible landscape maintenance and conservation practices on private property through leadership by example in parks and open spaces, as well as through awareness programs in partnership with local stewardship groups and educational institutions.



Creative interpretation or signage should be provided where there are 'sustainable features' - such as stormwater ponds, swales, etc. to tell users about the neighbourhood features.



To create a sense of place, and celebrate the community's rural and agricultural assets.

7.0 Agricultural Land Edges

OBJECTIVE

To create a sense of place, and celebrate the community's rural and agricultural assets.

POLICIES

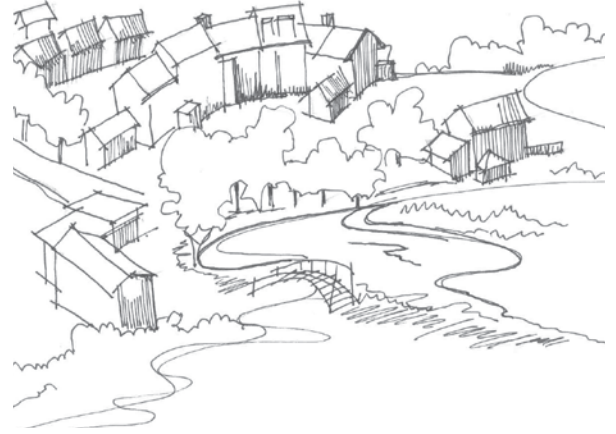
- 7.1 The City of Dawson Creek will support the application for exclusion of the subject properties from the Agricultural Land Reserve, where development is consistent with the following:

Edge/Buffer

- o All edges directly adjacent to agricultural land must conform to the standards set by the Agricultural Land Commission, unless otherwise approved.
- o The City will require an agricultural edge buffer retained as a public park amenity with a perimeter trail.
- o The total buffer width must be a minimum of 35m. This may include the adjacent public right of way (includes 8th St and McQueen Road) with the remaining 15m as a linear park trail.
- o A 3.0m (minimum 1.5m) wide perimeter trail shall be provided along the northern and eastern edges of the site. This trail must meet all Agricultural Land Reserve vegetated buffer requirements and/or guidelines. To guide development, trail conditions are outlined in **Figure 14 - Conceptual Options for Neighbourhood Trail System within the Agricultural Land Buffer and for Development Adjacent to it.**

DEVELOPMENT POLICIES

- o The predominant use of native tree and shrub species for the vegetated buffer is required. Physical links to the Leopky Community Forest is encouraged.
- o An external perimeter fence along road edges is required to ensure the safety of trail users. The fence must conform to schedule D4 fencing guidelines as per ALC Buffer Guidelines. It must be dog/pet proof and discourage casual trespass.



Where residential areas meet an agricultural edge, housing should be integrated through the use of landscape.

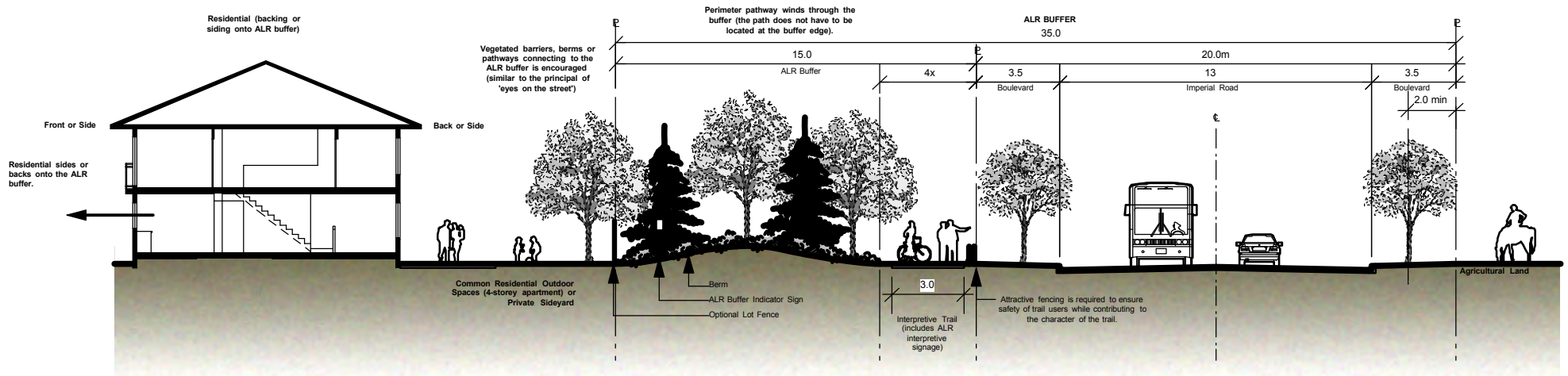
Housing Adjacent to Buffers

- o All single family and multi-family residences – except for apartments – along the ALR buffer are permitted to front the trail and agricultural land where indicated in the neighbourhood plan only.
- o Apartment residential that abuts the agricultural buffer edge shall explore appropriate ways to transition the buffer zone. Fencing the edge is discouraged. Use of berms and landscaping is encouraged.

Implementation

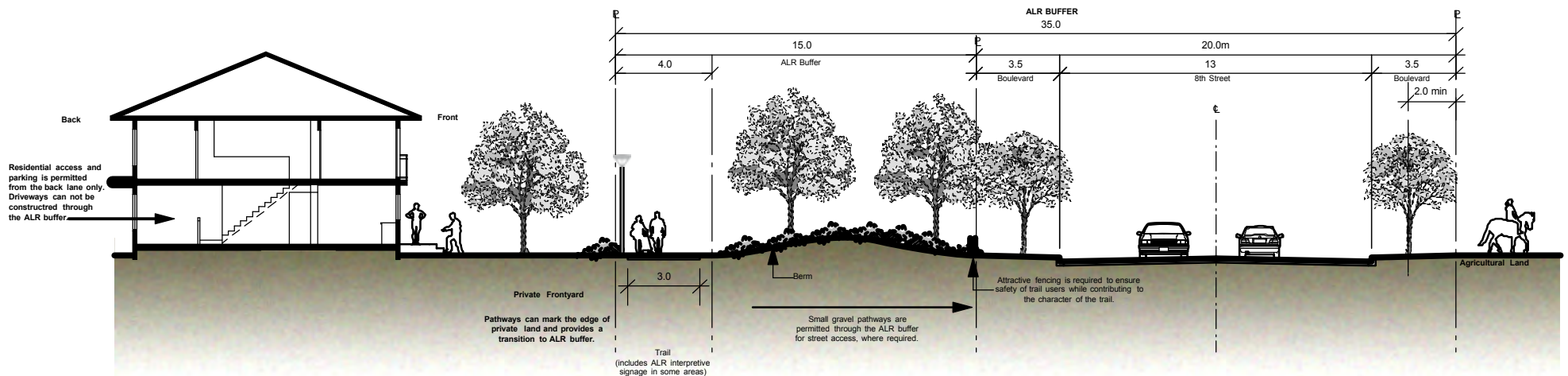
- o The City of Dawson Creek will work with the ALC to implement the plan as intended and aligned with the planning goals described in this Neighbourhood Plan.

Figure 14 - Conceptual options for the neighbourhood trail system and the integration of development adjacent to the buffer.



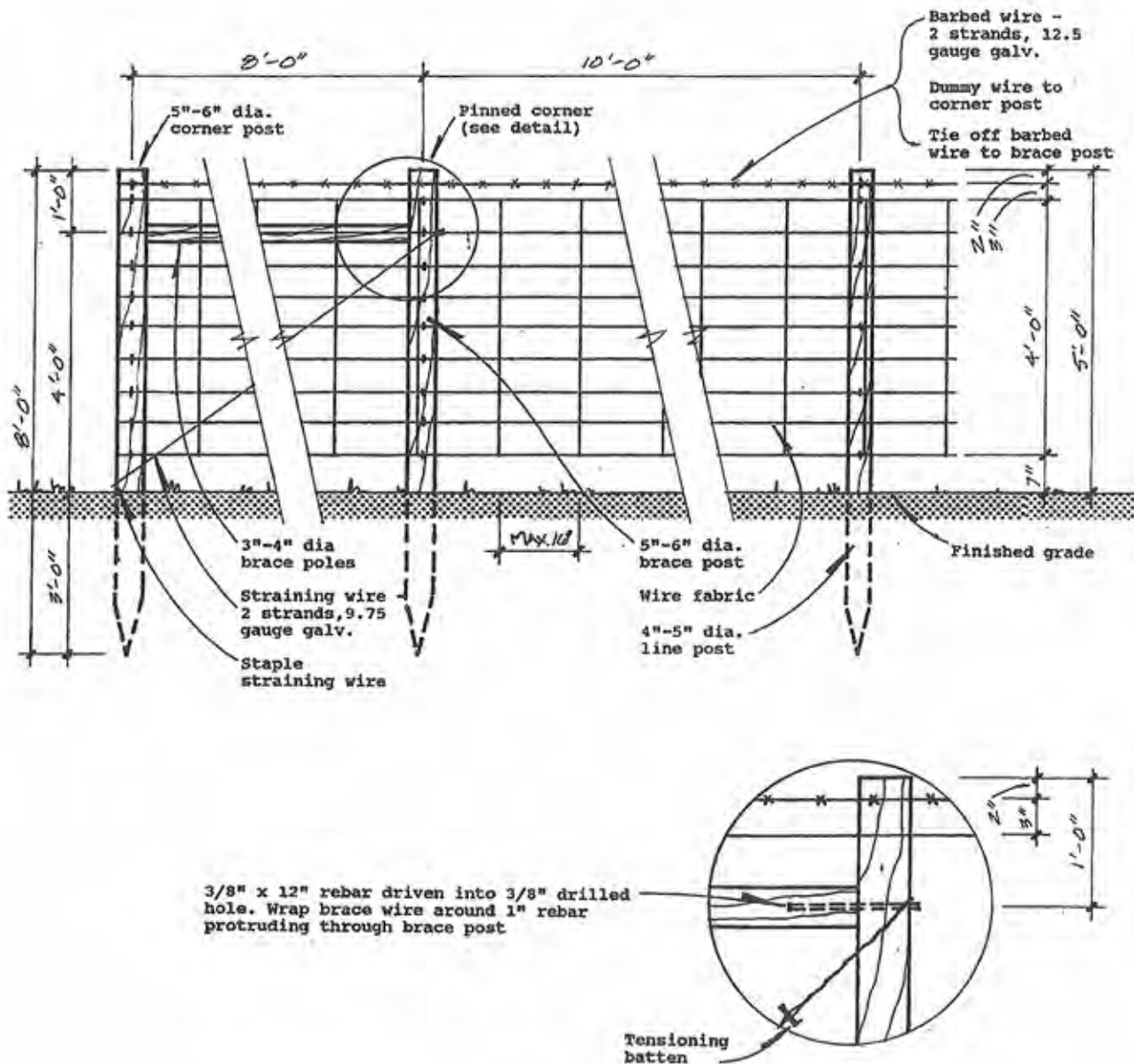
35m ALR Buffer @Imperial Road (north side)

*Note: Planting shown is at maturity. Trees and shrubs will take time to establish and grow as a buffer.
Where possible, existing mature trees along the edge of the property should be retained.*



35m ALR Buffer @8th Street (east side)

Figure 15 - Preferred fencing option for perimeter fencing within the ALR buffer. Schedule D: Fencing Specifications - D4: Wire Fabric Fence with One Strand Barbed Wire. Chain link fencing is discouraged.



Landscape Buffer Specifications, Agricultural Land Commission, March 1998.

DEVELOPMENT POLICIES

To ensure that development proceeds in a manner that most efficiently and effectively utilizes existing infrastructure, and is most economically viable as new infrastructure is developed in the neighbourhood.

8.0 Phasing

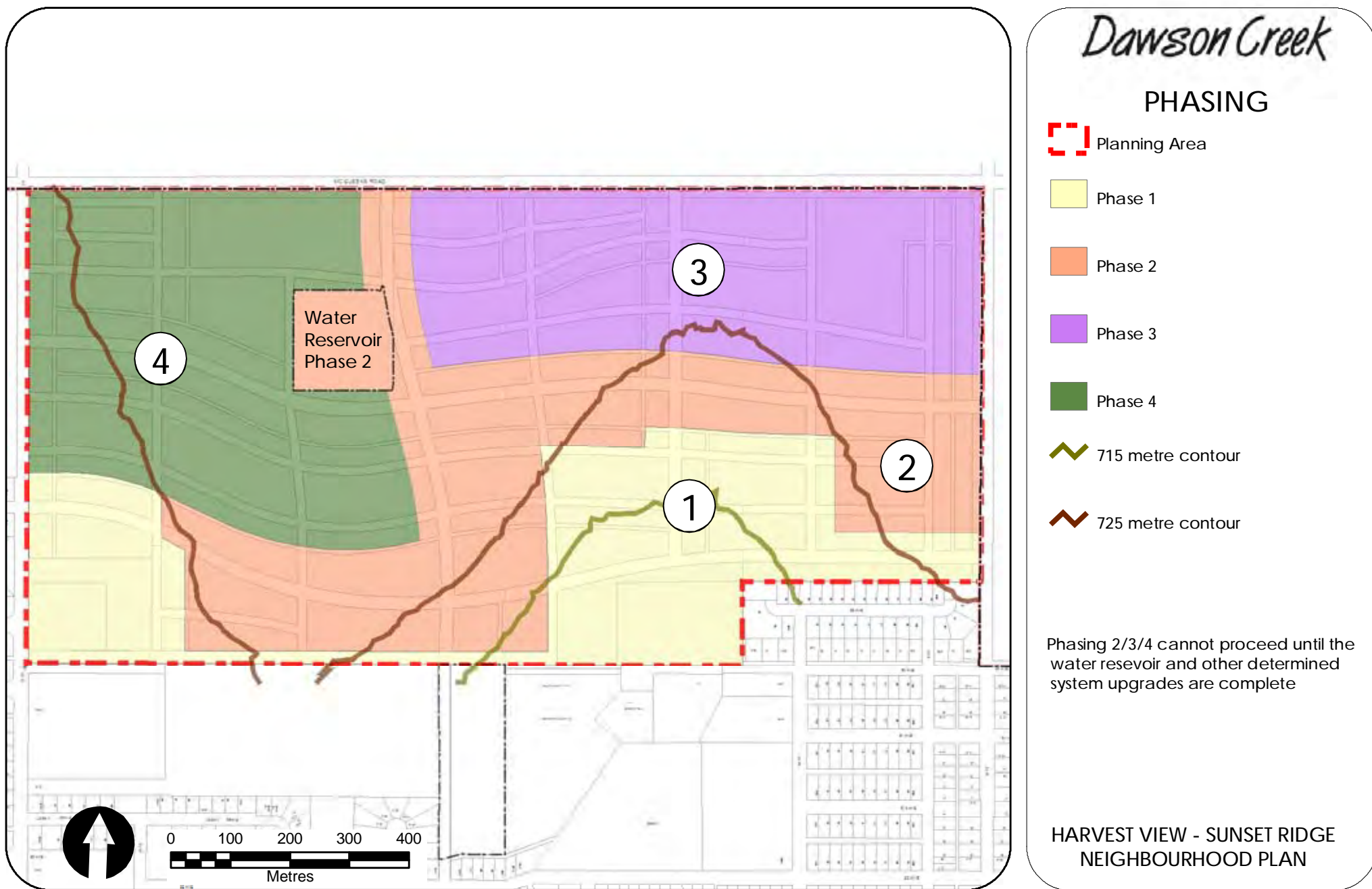
OBJECTIVE

To ensure that development proceeds in a manner that most efficiently and effectively utilizes existing infrastructure, and is most economically viable as new infrastructure is developed in the neighbourhood.

POLICIES

- 8.1 Development shall be governed by the technical feasibility of servicing as approved by the City and outlined in **Figure 15 – Phasing**.
- 8.2 All covenants and/or landowner agreements shall be in place as a condition of subdivision and development.

Figure 16 - Phasing for the development - given adequate infrastructure and servicing agreements are in place.



This map illustrates the future land uses intended by Council for the area within the Neighbourhood Plan. These designations will govern future development, redevelopment or rezoning of the property.

APPENDIX A

Table 4. Recommended stormwater parameters for each housing typology.

6-month rain volume	31	mm
worst case rain volume	100	mm in 20 min
Growing Medium Depth	350	mm
GM field capacity	0.28	
GM wilting point	0.07	
Net GM Depth	202	mm (for mitigating imp areas)
rock pit porosity	0.35	
Rock pit depth	0.6	m
infiltration rate	1	mm/hr

style	lot width	lot depth	component	impervious component width	impervious area	pervious area	max lot coverage (%)	lot size (sq.m)	lot size (sq.ft.)	6-month rainfall vol. (cu.m.)	GM Depth	GM Depth	GM Depth Check ?	
											Required (mm)	Provided (mm)		
triplex	8 (x 3)	8	set back	3	24	40					241	350	OK	
		4	house - front	8	32	0								
		8	house - back	8	64	0								
		10	backyard	3	30	50								
		0	garage	0	0	0								
		30			150	90	63%	240	2583	7.46	312	350	OK	
duplex	16.5	8	set back	7	56	76					272	350	OK	
		4	house - front	16.5	66	0								
		8	house - back	16.5	132	0								
		10	backyard	4.5	45	120								
		0	garage	0	0	0								
		30			299	196	60%	495	5328	15.40	252	350	OK	
duplex c/w carriage	16.5	4	set back	0	0	66					478	350	Error, too shallow or needs more pervious area (rain garden is 4.5 metres wide)	
		12	house - front	16.5	198	0								
		0	house - back	16.5	0	0								
		11	backyard	4.5	49.5	132								
		13	garage	16.5	214.5	0								
		40			462	198	70%	660	7104	20.53	330	350		OK
RS1 c/w l carport small lots	15	4	set back	0	0	60					182	350	OK	
		4	house - front	15	60	0								
		8	house - back	15	120	0								
		6	backyard	2	12	78								
		8	carport	4	32	88								
		30			224	226	50%	450	4844	14.00	180	350	OK	
RS2 c/w carriage	16.5	4	set back	0	0	66					478	350	Error, too shallow or needs more pervious area (rain garden is 4.5 metres wide)	
		12	house - front	16.5	198	0								
		0	house - back	16.5	0	0								
		11	backyard	4.5	49.5	132								
		13	garage	16.5	214.5	0								
		40			462	198	70%	660	7104	20.53	330	350		OK
apartment	100	20	set back	30	600	1400					203	350	OK	
		10	house - front	40	400	600								
building: 40 x 25	70	15	house - back	40	600	900								
		17	backyard	80	1360	340								
		8	garage	80	640	160								
		70			3600	3400	51%	7000	75347	217.73	309	350	OK	
rain garden	16.5	1.5	sidewalk	16.5	24.75	0								
		3.5	snow area	0	0	57.75								
		12	road	16.5	198	0								
		3.5	rain garden	0	0	57.75								
		1.5	sidewalk	16.5	24.75	0								
		22			247.5	115.5	68%	363	3907	11.29	-183	350	OK	
rain garden c/w Duplex extra area	16.5	1.5	sidewalk	16.5	24.75	0								
		3.5	snow area	0	0	57.75								
		12	road	16.5	198	0								
		3.5	rain garden	0	0	57.75								
		13.5	sidewalk/house	16.5	222.75	0								
		34			445.5	115.5	79%	561	6039	17.45	325	350	OK	

APPENDIX B

Preliminary List of tree Species Suitable for Street Tree and Park Planting

Acer negundo 'Sensation'
Fraxinus 'Northern Gem'
Fraxinus 'Northern Treasure'
Fraxinus pennsylvanica 'Patmore'
Malus 'Makamik'
Malus 'Pink Spires'
Malus 'Rudolph'
Malus baccata
Picea pungens 'Glauca'
Picea glauca
Sorbus aucuparia 'Rossica'
Ulnus americana
Tillia x flavescens 'Dropmore'

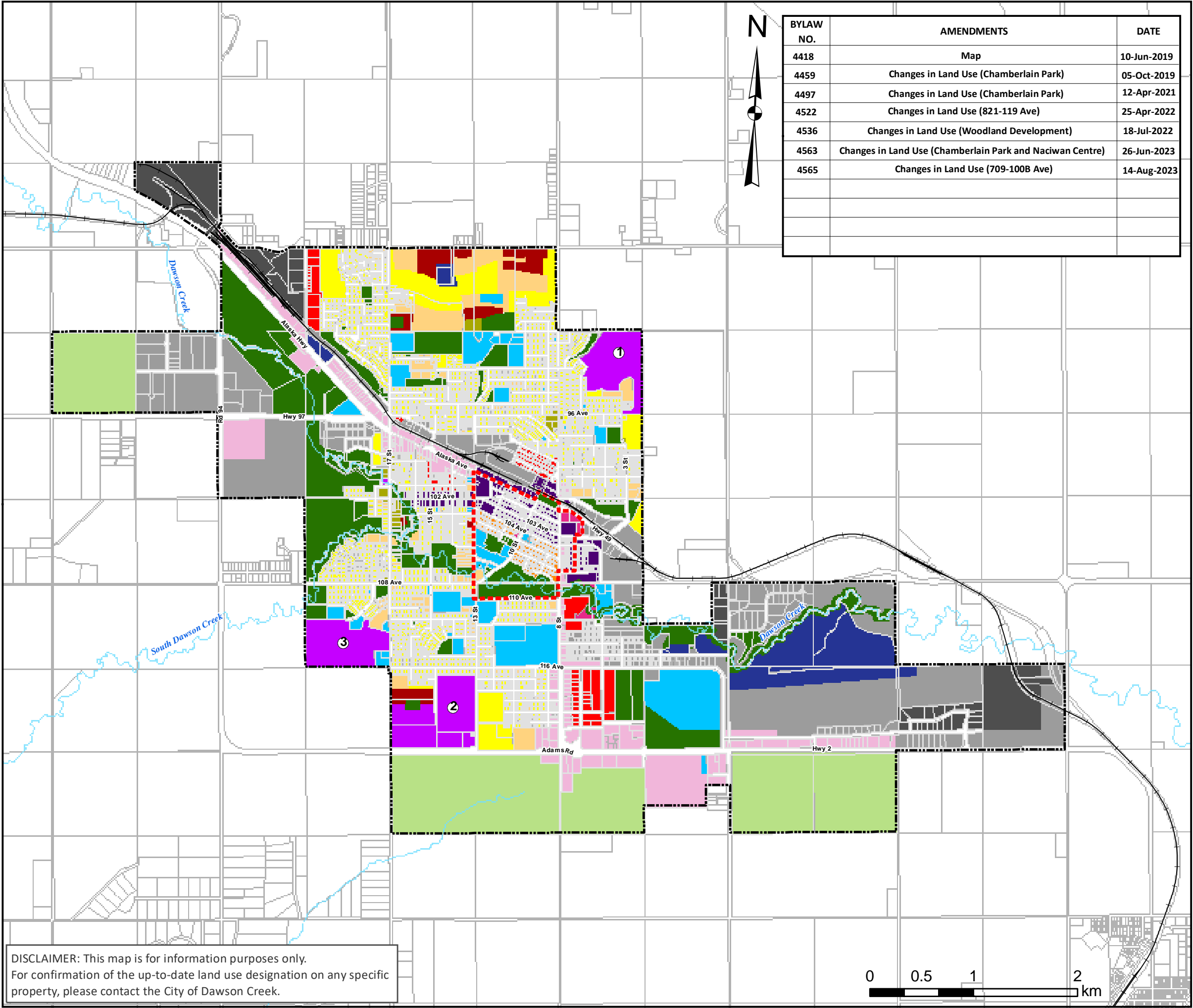
Please note that street tree considerations should not be limited to these suggestions. The suggestions provided are in the early stages of tree trials with the City of Dawson Creek but have so far proven to be suitable for the city's climate. Other species of Fraxinus, Malus, Sorbus, Ulnus, and Tillia may also be considered. Also of note, Prunus species are known to be disease prone and are not recommended.



City of Dawson Creek
Official Community Plan
Bylaw No. 4373, 2018

Land Use

BYLAW NO.	AMENDMENTS	DATE
4418	Map	10-Jun-2019
4459	Changes in Land Use (Chamberlain Park)	05-Oct-2019
4497	Changes in Land Use (Chamberlain Park)	12-Apr-2021
4522	Changes in Land Use (821-119 Ave)	25-Apr-2022
4536	Changes in Land Use (Woodland Development)	18-Jul-2022
4563	Changes in Land Use (Chamberlain Park and Naciwan Centre)	26-Jun-2023
4565	Changes in Land Use (709-100B Ave)	14-Aug-2023



Legend

- Municipal Boundary
- Downtown
- Railway
- Land Use Designations**
 - Agricultural
 - Low Density Residential
 - Medium Density Residential
 - High Density Residential
 - Downtown Residential
 - Mixed Use Village Centre
 - General Commercial
 - Highway Commercial
 - Downtown Mixed Use
 - Mixed Use
 - Light Industrial
 - Heavy Industrial
 - Municipal Infrastructure
 - Institutional
 - Parks, Natural Areas and Trails
 - Development Reserve

SCHEDULE B



City of Dawson Creek Official Community Plan Bylaw No. 4373, 2018

Transportation

Legend

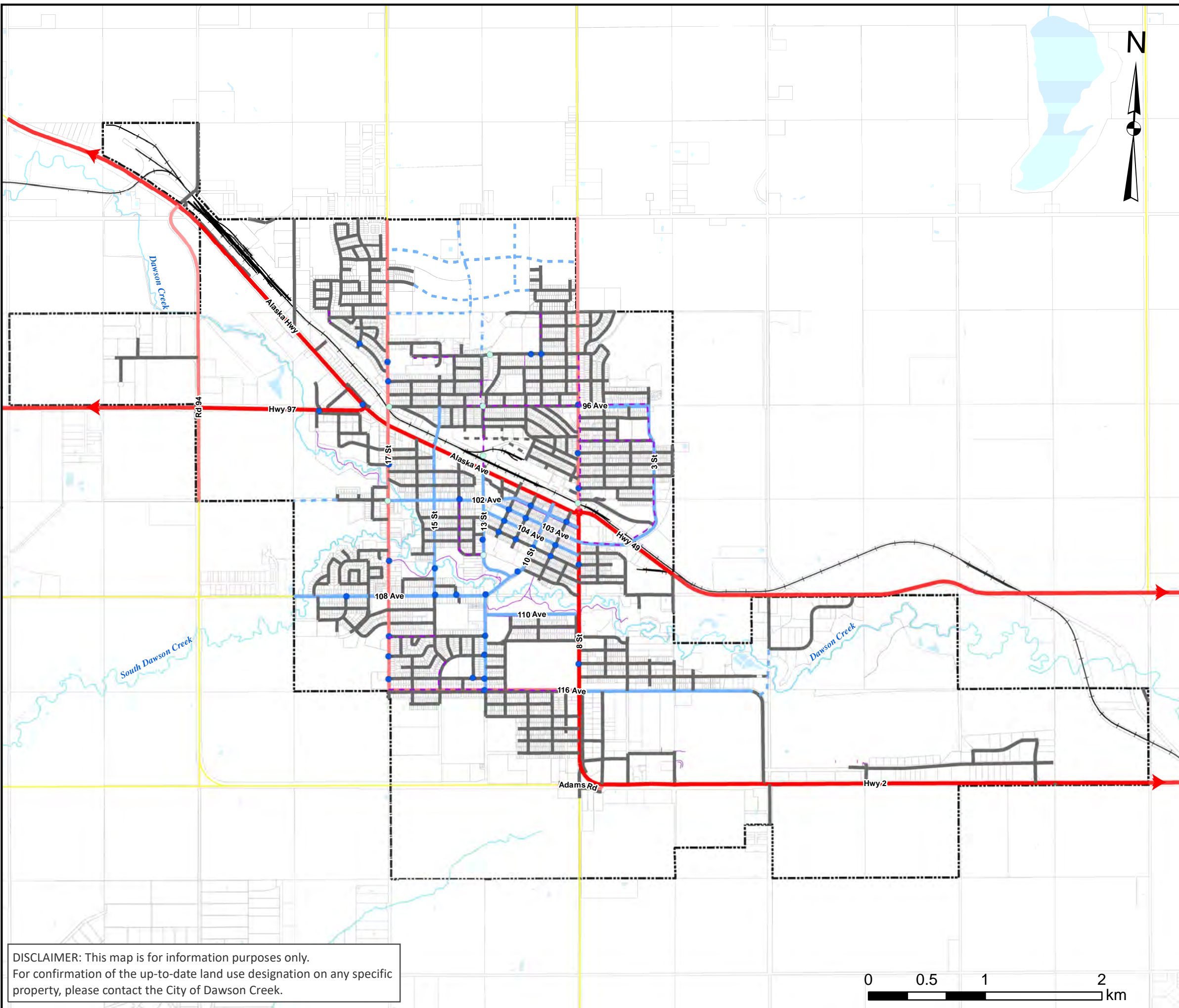
- Municipal Boundary
- Waterbody
- Railway
- Existing Sidewalk
- Proposed Sidewalk
- Existing Crosswalk
- Proposed Crosswalk

Existing Roads

- Highway
- Arterial
- Collector
- Local
- Maintained by Others

Proposed Roads

- Collector
- Local



DISCLAIMER: This map is for information purposes only.
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property, please contact the City of Dawson Creek.



SCHEDULE C



City of Dawson Creek Official Community Plan Bylaw No. 4373, 2018

Parks, Natural Areas,
Recreation and Trails

Legend

Municipal Boundary

Railway

Existing Parks, Natural Areas, Recreation and Trails

Trail

Mid-Block Crossing

Natural Area

Park

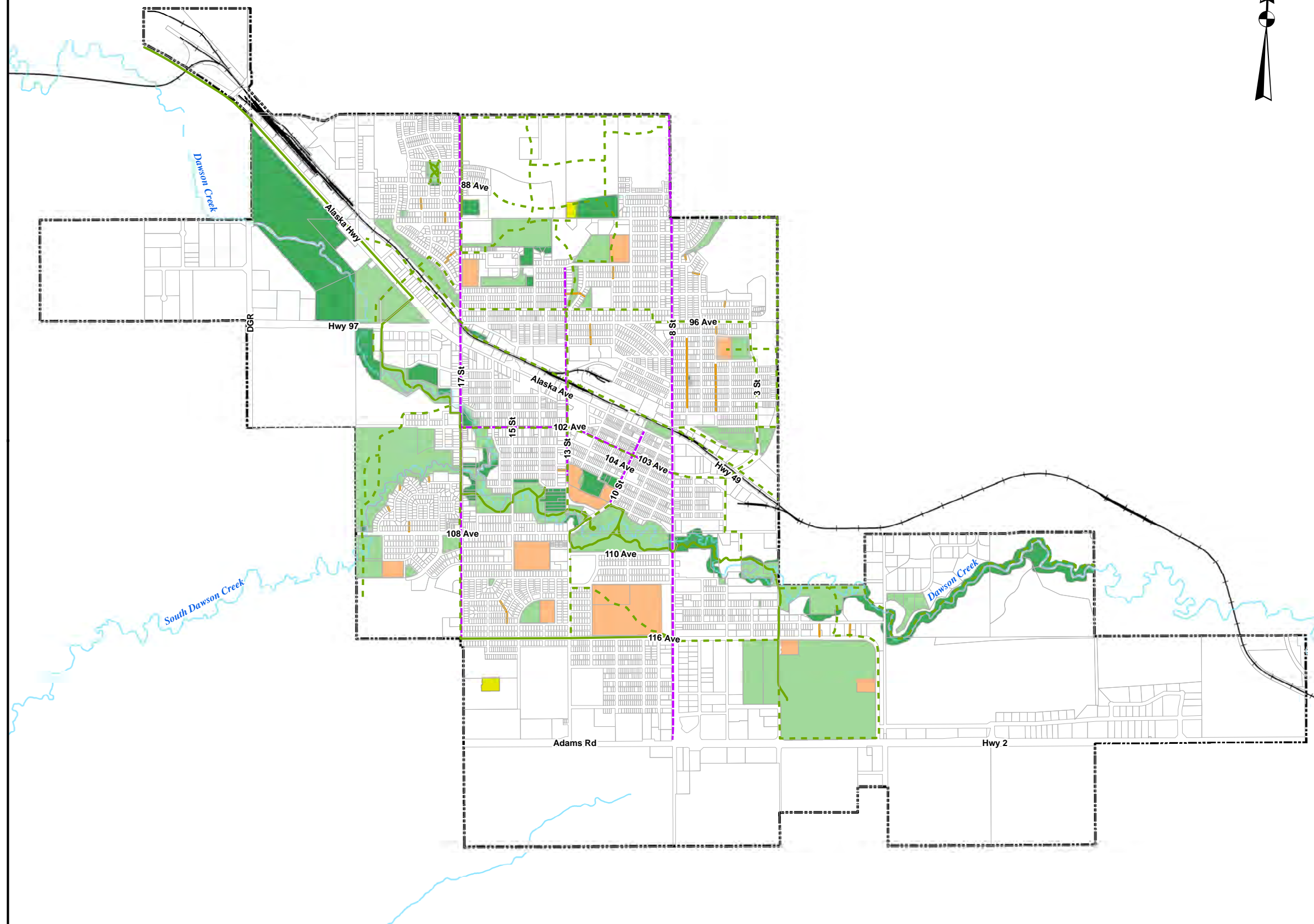
School Fields and Community Centres

Proposed Parks, Natural Areas, Recreation and Trails

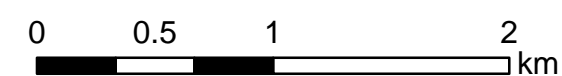
Proposed Trail

Proposed Green Street

Future Park



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SCHEDULE D



City of Dawson Creek Official Community Plan Bylaw No. 4373, 2018

Water Servicing

Legend

Municipal Boundary

Waterbody

Railway

Existing Water System Infrastructure

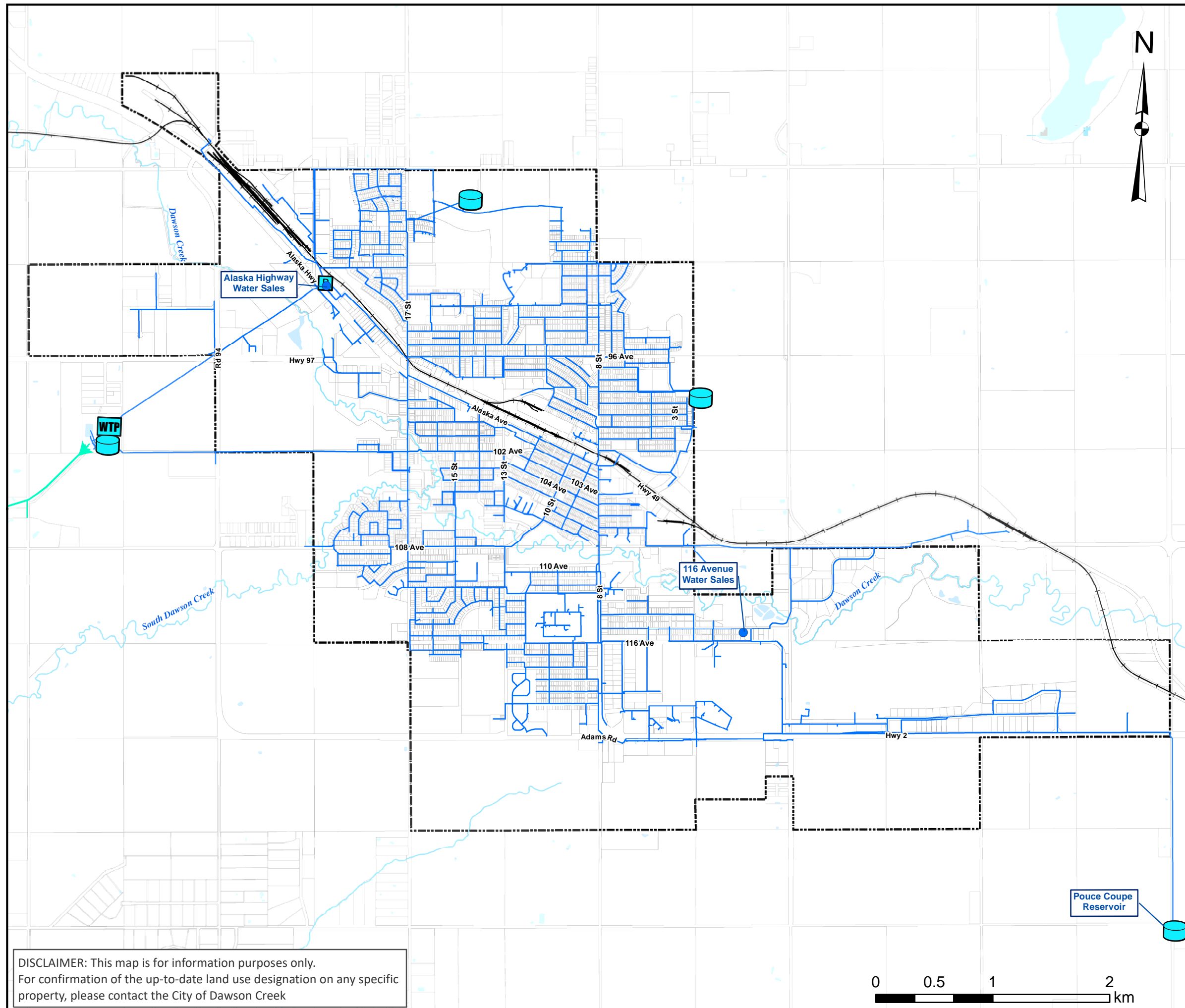
Booster Station

Water Reservoir

Water Treatment Plant

Treated Water Main

Raw Water Main



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SCHEDULE E



City of Dawson Creek Official Community Plan Bylaw No. 4373, 2018

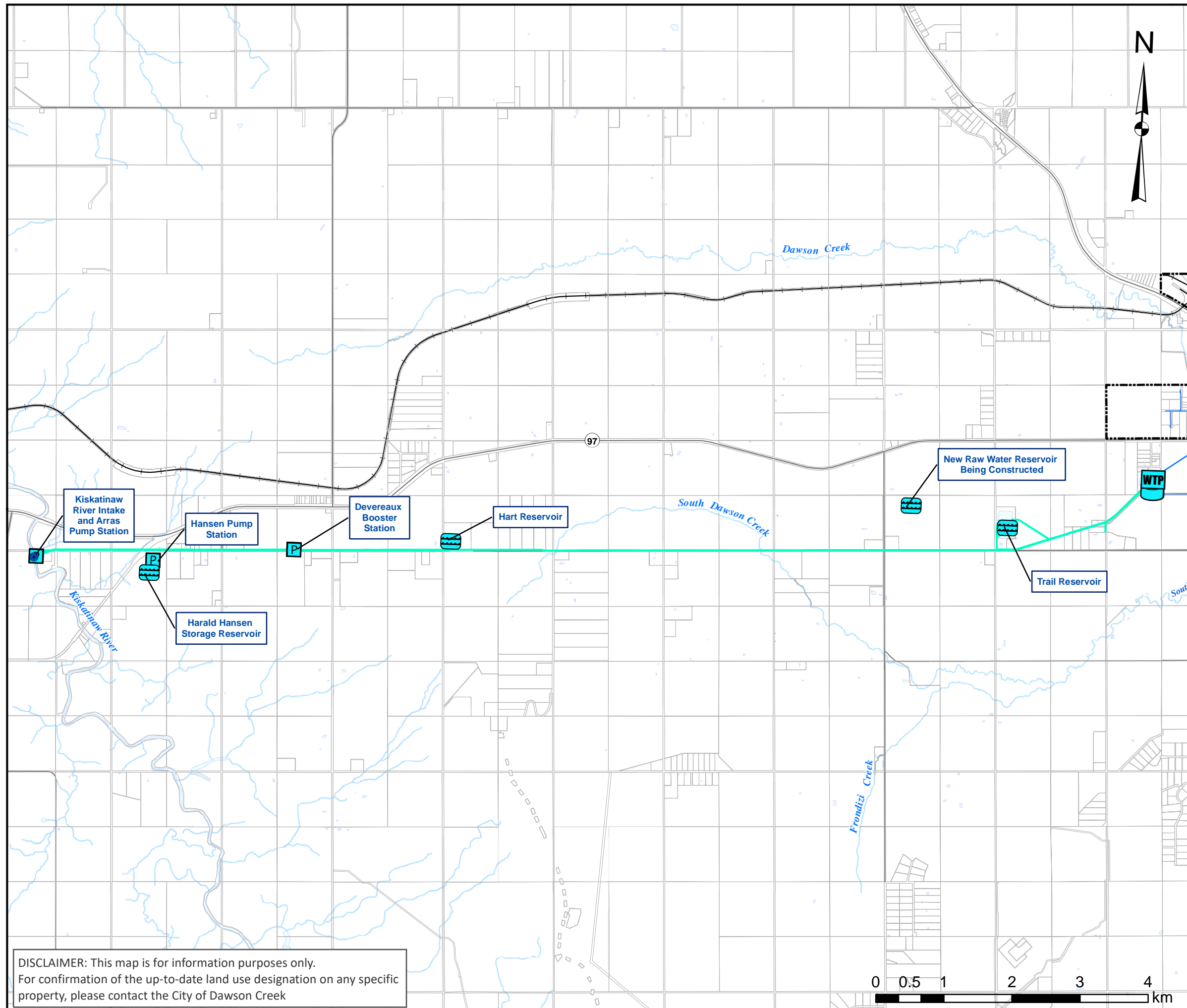
Raw Water Servicing

Legend

- Municipal Boundary
- Railway

Existing Water System Infrastructure

- Booster Station
- Water Reservoir
- Raw Water Reservoir
- Water Treatment Plant
- River Intake
- Treated Water Main
- Raw Water Main



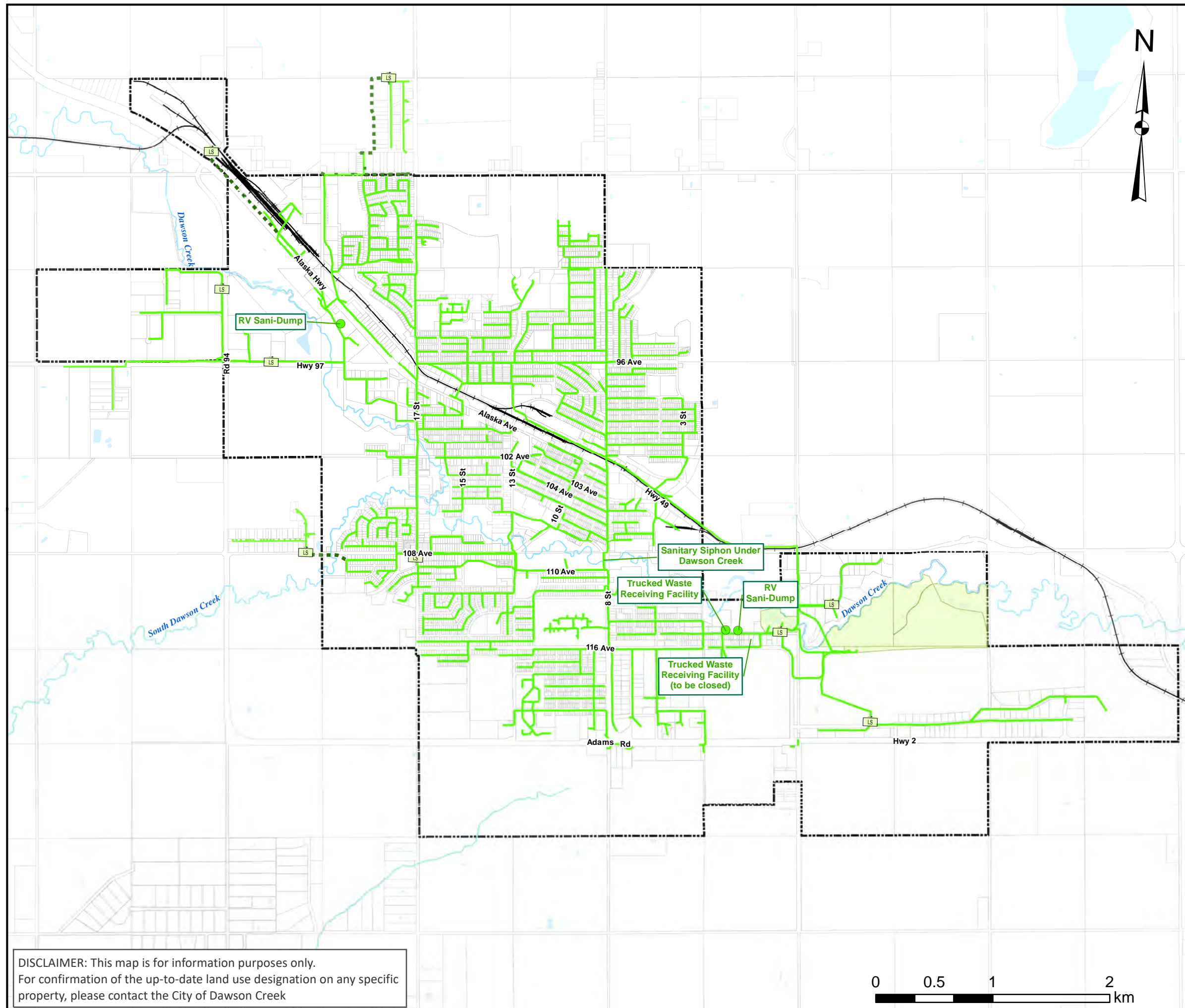


City of Dawson Creek Official Community Plan Bylaw No. 4373, 2018

Sanitary Sewer Servicing

Legend

- Municipal Boundary
- Waterbody
- Railway
- Existing Sanitary System Infrastructure**
 - Gravity Main
 - Pressure Main
 - Lagoon and Storage
 - Lift Station



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SCHEDULE G



City of Dawson Creek Official Community Plan Bylaw No. 4373, 2018

Storm Servicing

Legend

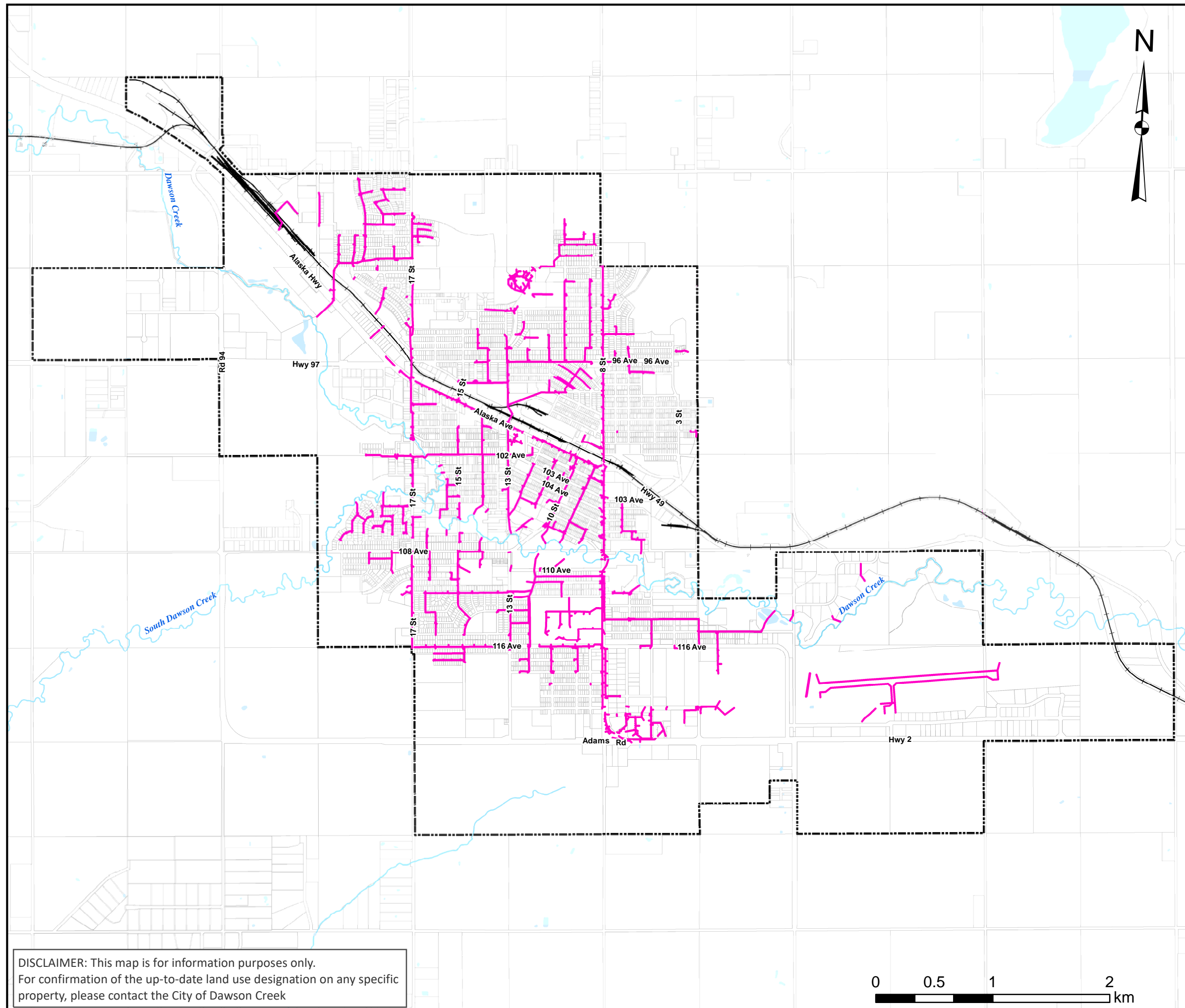
Municipal Boundary

Waterbody

Railway

Existing Storm System Infrastructure

Storm Main



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SCHEDULE H

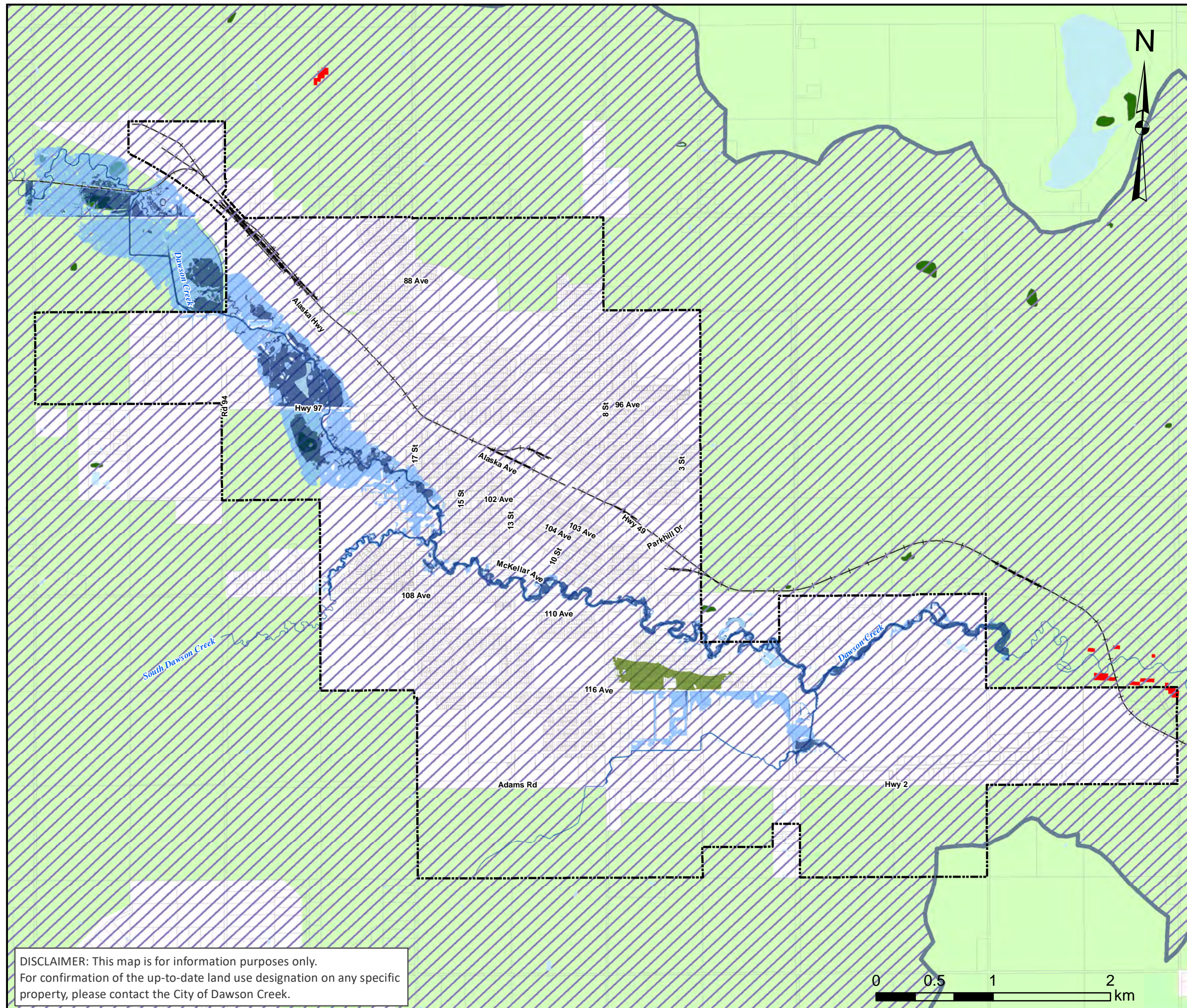


City of Dawson Creek Official Community Plan Bylaw No. 4373, 2018

Natural Assets

Legend

- Municipal Boundary
- Waterbody
- Wetland
- Railway
- Areas of Steep Slopes (>20%)
- Dawson Creek Watershed
- Agricultural Land Reserve
- Floodplain**
 - Flood Fringe
 - Floodway
 - Freeboard Area










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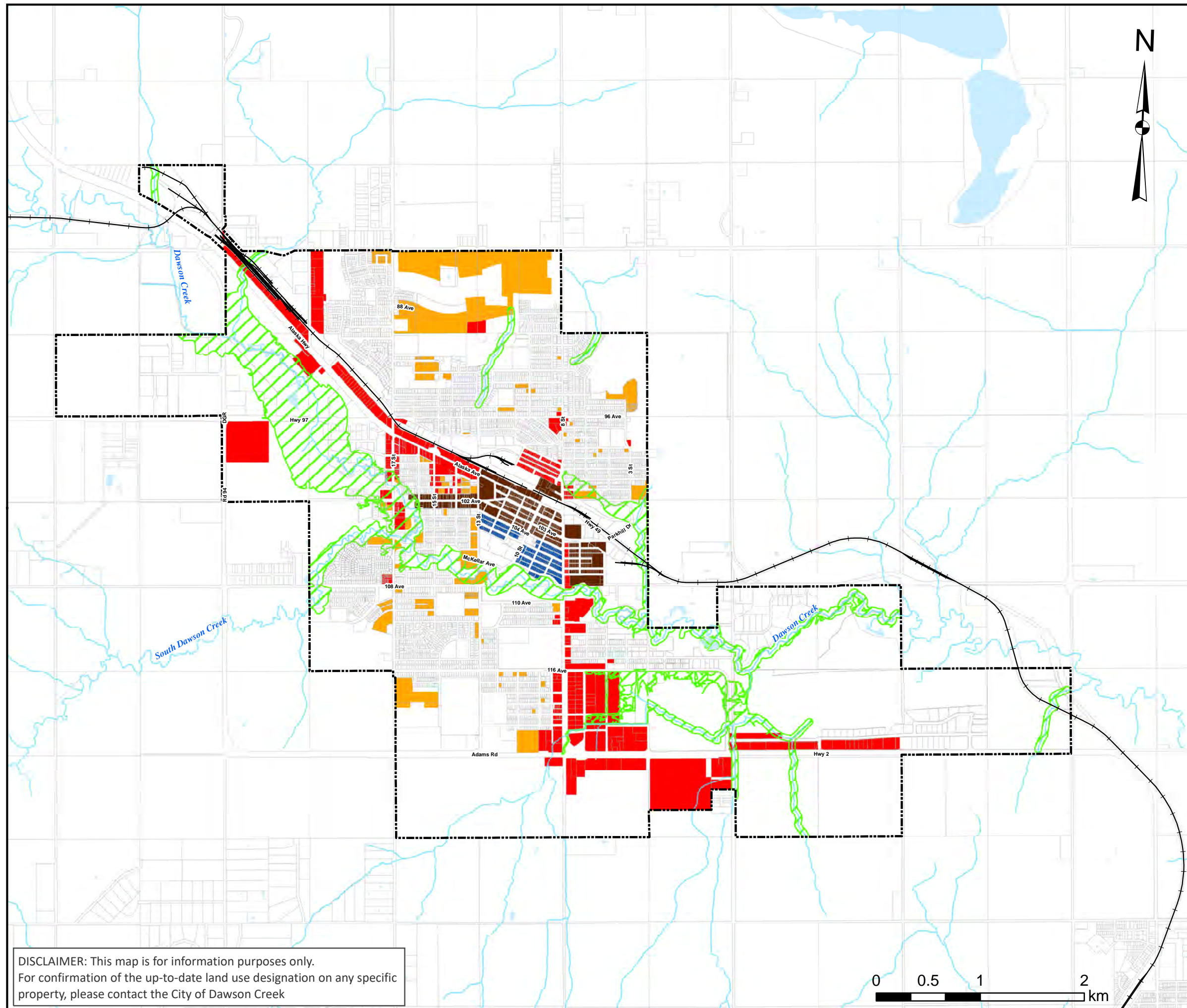
SCHEDULE I

City of Dawson Creek Official Community Plan Bylaw No. 4373, 2018

Development Permit Areas

Legend

-  Municipal Boundary
-  Waterbody
-  Railway
-  Downtown Core Development Permit Area
-  Commercial Development Permit Area
-  Multi-Family Development Permit Area
-  Intensive Residential Development Permit Area
-  Natural Hazards Development Permit Area



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