

Tenant Improvements Part 3 Building Permit Checklist

Address: _____ Date: _____

Please note only complete applications will be accepted.

Attach this checklist when submitting the application.

Yes No <input type="checkbox"/> <input type="checkbox"/>	<p>Is the property within a Development Permit Area? (check one)</p> <ul style="list-style-type: none"> A Development Permit is required for some projects within Development Permit Areas Please review the Development Permit Area Map to determine whether the property is within a Development Permit Area If your project is within a Development Permit Area, please contact the City Planner at 250-784-3601 or planner@dawsoncreek.ca
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- Building Permit Application**
 Completed form including:
 - Property information
 - Contact information
 - Building area and estimated value of construction
 - Property size and zoning
 - Signed and dated by the owner or agent
- Plumbing Permit Application (if Applicable)**
 Completed form attached (Plumbing permit required to issue service connection permit)
- Service Connection Permit Application (if Applicable)**
 Completed form including:
 - Fire Flow and hydraulic load calculations stamped by a professional engineer.
 - Northern Health construction permit (applicable to connections 75mm or greater and for servicing 5 or more lots)
 - Plumbing permit application
- Owner Authorization Form (If Applicable)**
 Required when an agent is submitting the application on behalf of the property owner. Must be completed and signed by the property owner.
- Land Title**
 If the land title is not supplied with the application, an additional charge of \$12.50 (\$11.37 + 10% Admin fee) will be added to the building permit fee for the City to acquire the title. Any additional charges for restrictive covenants (+ 10% admin fee) will be added to the building permit fee
- Home Warranty Registration Form (if applicable)**
 Completed form Attached
- Construction Fire Safety Plan**
 Fillable Form Completed with all required information (On [City of Dawson Creek Website](#))

- Schedule A Confirmation of Commitment by Owner and Coordinating Registered Professional Form completed, signed by owner, signed and stamped by coordinating registered professional

- Schedule B Assurance of Professional Design and Commitment for Field Review Form completed, signed and stamped by registered professional. Sheets initial by coordinating registered professional

- Site Plan (if Applicable)
Two stamped physical copies or one stamped digital copy, drawn to scale showing:
 - North arrow
 - Dimensions from property lines, the location of the proposed building setbacks
 - The similarly dimensioned location of every adjacent existing building on the property
 - Existing and finished ground levels to an established datum at or adjacent to the site
 - Access routes for firefighting
 - Hydrant locations with fire flow calculations
 - Accessible paths of travel from the street to the building
 - The dimensions of the parcel taken from the registered plan of subdivision
 - The legal description and civic address of the parcel if it has been designated
 - The location and dimensions of all statutory rights of way, easements and setback requirements
 - The location and dimensions of all existing buildings or structures on the parcel
 - The location of all services in the roadway fronting the parcel, including pavement surface, ditch line, water connection, sanitary sewer connection and the electrical and telephone connection
 - Existing and finished ground levels to an established datum at or adjacent to the site
 - The location and dimensions of the proposed construction on the site showing the nearest measurement to each parcel boundary
 - The location and grade of driveway access including the geodetic elevation of the existing edge of road at the centre line of the proposed driveway access, and all necessary routes for firefighting designed to current City of Dawson Creek Development and Subdivision and Servicing Bylaw requirements
 - Parking lot location, grade, layout and elevations designed to current City of Dawson Creek Development and Subdivision and Servicing Bylaw requirements
 - Location of security fencing that meets Division B Part 8 of BC Building Code (safety measures at constructions sites)
 - Drainage plan designed to current City of Dawson Creek Development and Subdivision and Servicing Bylaw requirements
 - Lighting and landscape plan designed to current City of Dawson Creek Development and Subdivision and Servicing Bylaw requirements

Refer to the Zoning Map and Zoning Bylaw for setbacks.

<https://www.dawsoncreek.ca/departments/corporate-administration/bylaws/>

Refer to Development and Subdivision and Servicing Bylaw for requirements.

<https://www.dawsoncreek.ca/departments/corporate-administration/bylaws/>

- Geotechnical Engineers Report (if Applicable)**
Two stamped physical copies or one stamped digital copy of report
- The name and address of the person responsible for the report
- Architectural Plans (if Applicable)**
Two stamped physical copies or one stamped digital copy, drawn to scale showing:
- The applicable edition of the Code
 - The major occupancy classification and code classifications of the building
 - The building area and building height
 - The number of streets the building faces
 - Fire protection components showing major components of fire protection including division of the building by firewalls, building area, degree of fire separation of storeys, shafts and special rooms or areas, including the location and rating of closures in fire separations, fire separations and fire-resistance ratings.
 - The source of information for fire-resistance ratings of element of construction.
 - Closures: fire-protection rating, temperature rise requirements, amount of glazing
 - Hardware for closures: panic hardware, hold-open devices, electromagnetic locks
 - Fire detection, suppression and alarm systems.
 - Accessible entrances, work areas and washrooms showing compliance to 3.8 BCBC
 - Accessible facilities particular to the occupancies showing compliance to 3.8 of BCBC
 - Location of exits and travel distance.
 - Floor plans, showing the dimensions and use of all rooms and other areas, the location, size, and swing of doors, and location and size of windows
 - Cross sections of the building taken at sufficient locations to adequately illustrate all structural details and finishes, including a roof plan and roof height calculation
 - Drawings and specifications for environmental separators and other assemblies exposed to the exterior. Showing building materials, components, and assemblies are designed to Division B part 5 of BC Building Code.
 - Energy compliance path to which the building conforms Division B 10.23
- Sprinkler System Plan (If Applicable)**
Two stamped physical copies or one stamped digital copy, drawn to scale showing:
- Full details of the proposed sprinkler system and essential details of the building in which it is to be installed shall be drawn to an indicated scale.
 - Fire suppression, spatial and functional requirements.
 - Clearly indicate on the drawings, performance specifications and fundamental design parameters for the fire suppression system to appropriate Standard including fire-flow calculations.
 - Location of fire department siamese hose connections.
 - Location and size of standpipes and hose connections.
 - Details of special sprinkler protection.
 - Fire stop systems for pipe penetrations of fire separations.
 - Zoning of the sprinkler system to be coordinated with the electrical engineer for the fire alarm annunciation and clearly identified in the performance specifications.
 - Location of backflow assembly (RP) Backflow assembly designed to both CSA B64.10.11 Standard and City of Dawson Creek Cross Connection Control Program and Process Bylaw
- Structural and Foundation Drawings and Calculations (if Applicable)**
Two stamped physical copies or one stamped digital copy, drawn to scale showing:

- The name and address of the person responsible for the structural design.
- The date of issue of the Code and standards to which the design conforms
- The dimensions, location and size of all structural members in sufficient detail to enable the design to be checked
- Sufficient detail to enable the dead loads to be determined and all effects and loads, other than dead loads, used for the design of the structural members and exterior cladding.
- Foundation drawings submitted with the application to build or excavate shall be provided to indicate the type and condition of the *soil* or *rock*, as well as the *groundwater* conditions, as determined by the subsurface investigation, the factored bearing pressures on the *soil* or *rock*, the factored loads when applicable and the design loads applied to *foundation units*, and the earth pressures and other loads applied to the supporting structures of supported *excavations*. When required, evidence that justifies the information on the drawings shall be submitted with the application to excavate or build.

Mechanical and Plumbing Drawings and Specifications (if Applicable)

Two stamped physical copies or one stamped digital copy, drawn to scale showing:

- The name, type and location of the building, the name of the owner, the name of the architect, the name of the engineer or designer,
- Mechanical/plumbing clearances and functional requirements
- Clearly indicate on drawings and supporting documents: Details of the mechanical/plumbing components of the fire and life safety systems.
- Clearly indicate on drawings and supporting documents including hydraulic load calculations: Details of the mechanical/plumbing components for plumbing facilities.
- Schematic diagram of the smoke venting system showing all fans, ducts, motorized dampers, fusible link dampers and backdraft dampers.
- Location and fire-protection ratings of fusible link fire dampers and fire stop flaps.
- Location and fire-protection ratings of motorized fire dampers.
- Location and fire-resistance ratings of fire-rated duct enclosures.
- Fire stop systems for mechanical/plumbing penetrations of fire separations.
- Kitchen exhaust system/suppression system to NFPA 96
- Mechanical fans/motorized dampers sequence of operations: Describe operation under normal mode, Describe operation under fire alarm mode
- Indicate fire alarm initiation devices that activate change of operation
- Location and type of premise and zone backflow assemblies designed to both CSA B64.10.11 Standard and City of Dawson Creek Cross Connection Control Program and Process Bylaw
- Water meter size and location (meter provided by City of Dawson Creek)

Electrical Drawings and Specifications (if Applicable)

Two stamped physical copies or one stamped digital copy, drawn to scale showing:

- The test protocol and procedures for functional testing of the fire and life safety systems.
- Details of the electrical components of the fire and life safety systems.
- Clearly indicate on drawings and supporting documents:
- Fire Alarm System, Location of fire alarm annunciator panel and central alarm control facility, Location of fire alarm initiating devices (smoke detectors, heat detectors, manual pull stations), Fire alarm riser diagram c/w ancillary device connections, Audibility of fire alarm signal throughout floor area, Zoning of fire

alarm initiation devices and audible signal appliances, Monitoring of fire alarm, Routing and method of protection of emergency conductors, Wiring methods for equipment, Testing/verification requirements and the documentation to be submitted to the Registered Professional of Record (RPR)

- Sprinkler System: Coordinated design with sprinkler design engineer, Sprinkler system alarm initiation and monitoring indicated on the fire alarm riser diagram (flow, tamper, pressure, etc.), Detailed diagrams for freeze protection systems (heat trace monitoring, low temperature monitoring, etc.), Fire Pump Systems, Riser diagram to indicate monitoring of the fire pump (pump running, power failure, phase reversal, wiring details for device connections), Routing and method for protection of fire pump feeders from fire and power source, Electrical requirements to appropriate Standard and documents to be submitted to Coordinating Registered Professional (overcurrent protection details, location of controller and transfer switches, voltage drop, etc.)
- Kitchen Exhaust/Fire Suppression System designed to NFPA 96
- Emergency Generator, Generator load calculations
- Details and wiring diagram for monitoring through the fire alarm system, Details for testing to appropriate Standard and documents
- Smoke Venting Systems, Coordinate design with the mechanical engineer, Fire alarm riser diagram to indicate smoke venting fans and motorized dampers and HVAC/exhaust fan shutdown, Detailed wiring diagrams for fan shut-offs, exhaust fan operation, pressurization fan operation, damper operation (opening, closing, throttling), Sequence of operation of smoke venting system in a narrative form, Describe operation under normal mode, Describe operation under fire alarm mode, Indicate fire alarm initiating devices that activate changes of operation/sequence, Routing methods for protection of emergency conductors
- Electromagnetic Locks and Hold-Open Devices, Sequence of operation in both normal and fire alarm mode, Wiring diagrams for connection of devices, Locations of devices on the floor plans
- Elevators: Sequence of operation in a narrative form, Wiring diagram details, Routing and method of protection of emergency conductors
- Fire stop systems for electrical penetrations of fire separations
- Location and routing of lights and plugs

Building Permit Application

Property Information

Civic Address		PID
Legal Description		
Property Area (m ²)	Zoning Designation	

Project Information

<input type="checkbox"/>	Single Family Dwelling/Duplex	<input type="checkbox"/>	Tri-plex or Greater/Apartment	<input type="checkbox"/>	Detached Garage
<input type="checkbox"/>	Shed	<input type="checkbox"/>	Deck	<input type="checkbox"/>	Manufactured Home
<input type="checkbox"/>	Tenant Improvements (Commercial/Industrial)	<input type="checkbox"/>	New construction (Commercial/Industrial)	<input type="checkbox"/>	SFD Renovation/Addition
<input type="checkbox"/>	Wood Stove	<input type="checkbox"/>	Demolition	<input type="checkbox"/>	Weeping Tile
Estimated Value			Area of Project (m ²)		
Occupancy Classification			Does this Building Fall Under Part 3 or Part 9 of BC Building Code?		
Occupancy Classifications: Group A: Assembly Group B: Care, Treatment, and Detention Group C: Residential Group D: Office & Personal Services Group E: Mercantile Group F: F-1 High Hazard Industrial F-2 Medium Hazard Industrial F-3 Low Hazard Industrial			Part 3 Buildings Consist of: <ul style="list-style-type: none"> • Group A • Group B • Group F-1 • Buildings exceeding 600m² in building area 		Part 9 Building Consist of: <ul style="list-style-type: none"> • Group C • Group D • Group E • Group F-2 • Group F-3 • Buildings under 600m² in building area

Property Owner Information

Name	Company
Address	City & Province
Email	Postal Code
Phone	Fax

Contractor Information

Name		Company	
Address		City & Province	
Email		Postal Code	
Phone	Fax	Business Licence Number	

Agent / Tenant Information	
Is an agent submitting the application on behalf of the property owner? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, the Owner Authorization form needs to be completed and submitted.	
Will there be commercial tenants? <input type="checkbox"/> Yes <input type="checkbox"/> No	Tenant Company Name
Contact Person	Business Licence Number
Address	City & Province
Email	Postal Code
Phone	Fax

1. I acknowledge that if I am granted a building permit pursuant to this application that I am responsible for compliance with the current edition of the British Columbia Building Code, this bylaw and any other applicable enactment, code, regulation or standard relating to the work in respect of which the permit is issued, whether or not the said work is undertaken by me or by those whom I may retain or employ to provide design and/or construction services.
2. I acknowledge that neither the issuance of a permit under this bylaw, the acceptance nor review of plans, specifications, drawings or supporting documents, nor inspections made by or on behalf of the City constitute a representation, warranty, assurance or statement that the current edition of the British Columbia Building Code, the City of Dawson Creek's Building Bylaw, Subdivision and Development Servicing Bylaw, and Sign Bylaw or any other applicable enactment, code, regulation or standard has been complied with.
3. Where the City requires that Letters of Assurance be provided by a Registered Professional pursuant to Section 11 of the City of Dawson Creek Building Bylaw and Section 55 of the Community Charter I confirm that I have been advised in writing by the City that it relied exclusively on the Letter of Assurance of "Professional Design and Commitment for Field Review" prepared by in reviewing the plans, drawings, specifications and supporting documents submitted with this application for a building permit.
4. I confirm that I have relied only on the said Registered Professional for the adequacy of plans, drawings, specifications and supporting documents submitted with this application.
5. I understand that I should seek independent legal advice in respect of the responsibilities I am assuming upon the granting of a building permit by the City pursuant to this application and in respect of the execution of this acknowledgement.

I hereby agree to indemnify and keep harmless the City of Dawson Creek against all claims, liabilities, judgements, costs and expenses which may, in any way, occur against the said City in consequence of and incidental to, the granting of this permit, if issued. I further agree to conform to all requirements of the Building Bylaw and all other statutes and bylaws in force in the City of Dawson Creek.

Name (Please Print)

Signature

Date

Arrange for inspections by phone or email

Phone: 250-784-3618

Email: buildinginspection@dawsoncreek.ca

Plumbing Permit Application

Property Information

Civic Address		PID
Legal Description		
Intended Occupancy	Zoning Designation	

Project Information

	Water Closet	Urinal	Basin	Shower/ Bathtub	Kitchen Sink/ Dishwasher	Washer	Laundry Sink	Mop Sink	Hose Bib	Sprinkler Heads	Floor Drain
# of Fixtures											
Type of Vent											
Size of Vents											
Size of Waste											
Material											
Total number of fixtures					Size of water meter (Determined by Building Department)						
Size of building drain					Material of building drain						

Under BC Plumbing Code Division C 2.2.2 the following information is required with a plumbing permit application to ensure that proposed construction meets BC Plumbing Code.

- Location and size of every building drain and every trap and cleanout fitting that is on a building drain
- The size and location of every soil-or-waste-pipe, trap and vent pipe, and
- A layout of the potable water distribution system, including pipe sizes and valves.

Property Owner Information

Name	Company
Address	City & Province
Email	Postal Code
Phone	Fax

Contractor Information

Name	Company		
Address	City & Province		
Email	Postal Code		
Phone	Fax	Business Licence Number	

Agent / Tenant Information	
Is an agent submitting the application on behalf of the property owner? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, the Owner Authorization form needs to be completed and submitted.	
Will there be commercial tenants? <input type="checkbox"/> Yes <input type="checkbox"/> No	Tenant Company Name
Contact Person	Business Licence Number
Address	City & Province
Email	Postal Code
Phone	Fax

1. I acknowledge that if I am granted a plumbing permit pursuant to this application that I am responsible for compliance with the current edition of the British Columbia Building Code, this bylaw and any other applicable enactment, code, regulation or standard relating to the work in respect of which the permit is issued, whether or not the said work is undertaken by me or by those whom I may retain or employ to provide design and/or construction services.
2. I acknowledge that neither the issuance of a permit under this bylaw, the acceptance nor review of plans, specifications, drawings or supporting documents, nor inspections made by or on behalf of the City constitute a representation, warranty, assurance or statement that the current edition of the British Columbia Building Code, the City of Dawson Creek's Building Bylaw, Subdivision and Development Servicing Bylaw, and Sign Bylaw or any other applicable enactment, code, regulation or standard has been complied with.
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4. I confirm that I have relied only on the said Registered Professional for the adequacy of plans, drawings, specifications and supporting documents submitted with this application.
5. I understand that I should seek independent legal advice in respect of the responsibilities I am assuming upon the granting of a plumbing permit by the City pursuant to this application and in respect of the execution of this acknowledgement.

I hereby agree to indemnify and keep harmless the City of Dawson Creek against all claims, liabilities, judgements, costs and expenses which may, in any way, occur against the said City in consequence of and incidental to, the granting of this permit, if issued. I further agree to conform to all requirements of the Building Bylaw and all other statutes and bylaws in force in the City of Dawson Creek.

Name (Please Print)

Signature

Date

Arrange for inspections by phone or email

Phone: 250-784-3618

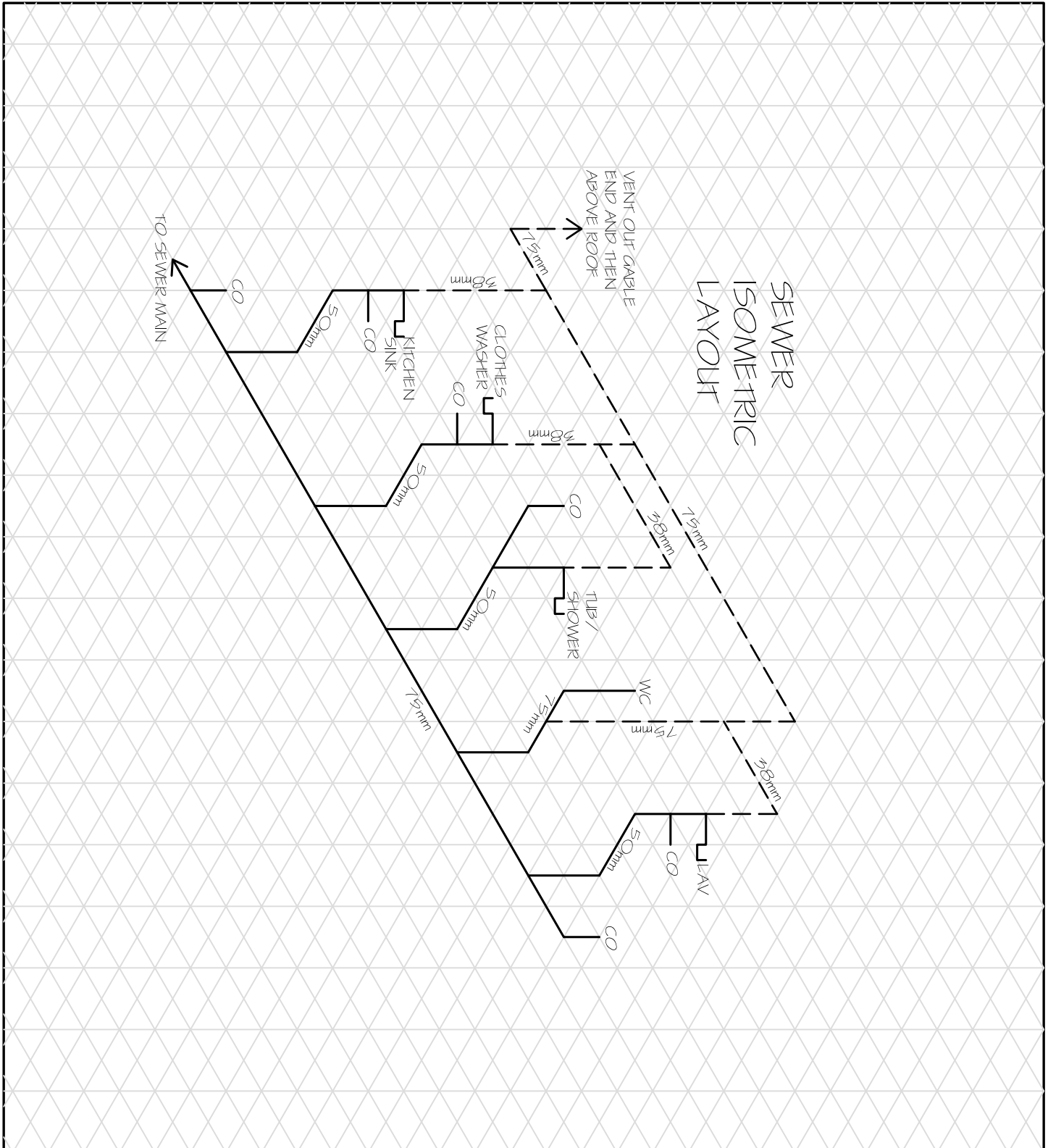
Email: buildinginspection@dawsoncreek.ca

ISOMETRIC PLAN EXAMPLE

Address: _____ Contact Name/Number: _____

Under BC Plumbing Code Division C2.2.2, the following information is required:

- Location and size of every building drain, trap, and cleanout fitting
- Location and size of every soil-or-waste-pipe, trap, and vent pipe
- A layout of the potable water distribution system, including pipe sizes and valves

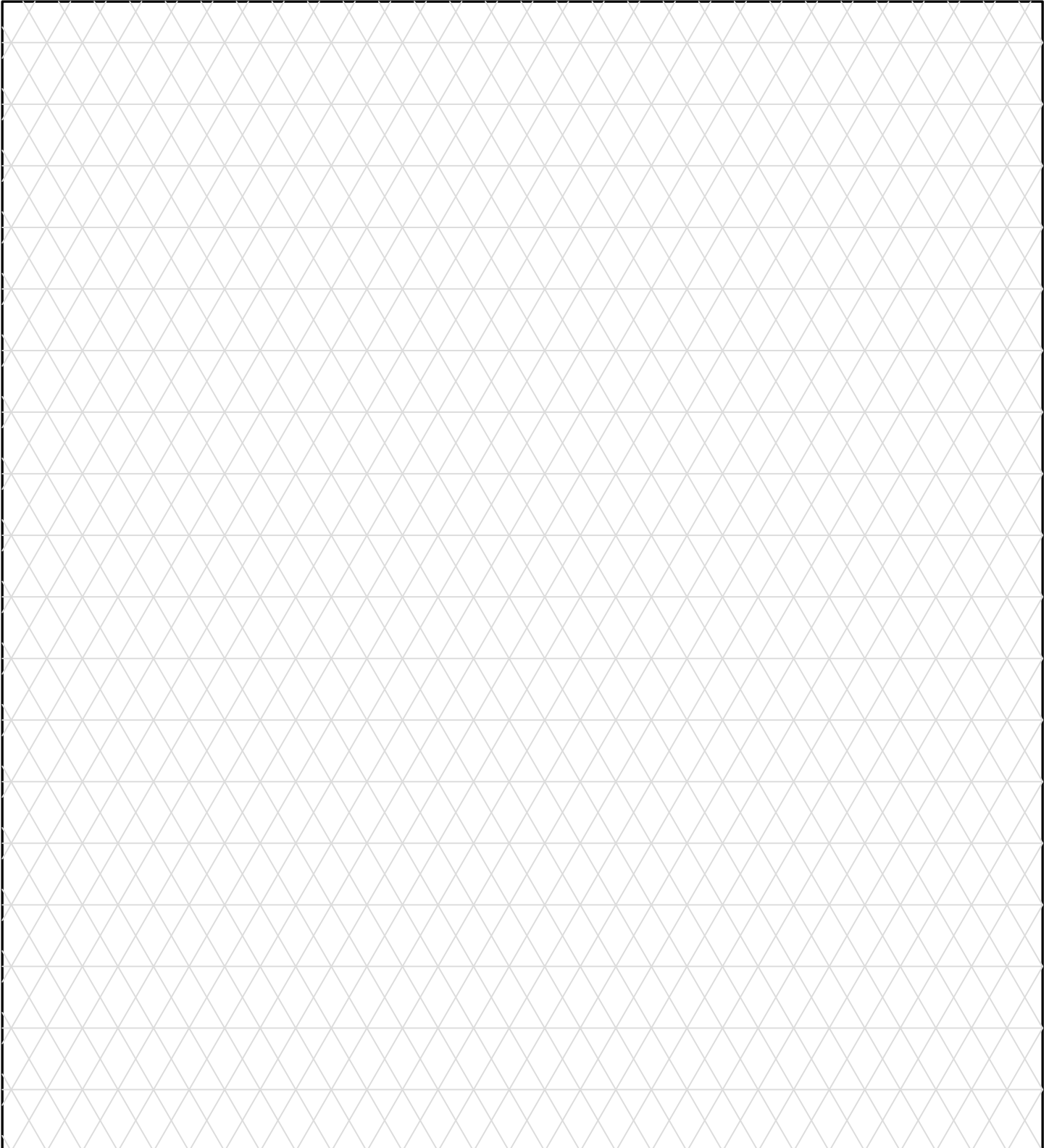


ISOMETRIC PLAN

Address: _____ Contact Name/Number: _____

Under BC Plumbing Code Division C2.2.2, the following information is required:

- Location and size of every building drain, trap, and cleanout fitting
- Location and size of every soil-or-waste-pipe, trap, and vent pipe
- A layout of the potable water distribution system, including pipe sizes and valves



A large rectangular area filled with a light gray isometric grid, intended for the plumbing isometric plan drawing.



Owner Authorization Form

FILE NUMBER: _____ - _____

PROPERTY INFORMATION

Municipal Address(es): _____

Legal Description(s): _____

Project Description: _____

Registered Owner Name(s): _____

Address: _____

City: _____ Province: _____ Postal Code: _____

Telephone: _____ E-mail Address: _____

Please be advised that I/we, the registered owner(s) of the above mentioned property(ies), (select one)

- will apply for all applications related to the above mentioned project.
- authorize the following agent to apply for all applications related to the above mentioned project on my/our behalf

Agent Name		Agent Company	
Mailing Address			
City:	Province:	Postal Code:	
Telephone:	Cell:		
Email address:			

I/We agree to immediately notify the City of Dawson Creek, in writing, of any changes regarding this information.

Owner's Name(s) (printed): _____

Owner's Signature(s): _____ Date: _____